



Interoffice Memo
Office of Design Policy & Support

DATE: 10/21/2022

FILE: P.I.# 0007952 CSHPP-0007-00 (952)
Fulton County / GDOT District 7 - Metro Atlanta
SR 154/MEMORIAL DRIVE CORRIDOR IMPROVEMENTS
Pedestrian Improvements - Sidewalk

FROM: *for* *Dave Peters*
R. Christopher Rudd, PE, State Design Policy Engineer

TO: SEE DISTRIBUTION

SUBJECT: APPROVED CONCEPT REPORT

Attached is the approved Concept Report for the above subject project.

Attachment

Distribution:

Hiral Patel, Director of Engineering
Joe Carpenter, Director of P3
Albert Shelby, Director of Program Delivery
Clement Solomon, Director, Division of Intermodal
Darryl VanMeter, Assistant Director of P3/State Innovative Delivery Administrator
Matthew Markham, Deputy Director of Planning
Kim Nesbitt, Program Delivery Administrator
Bobby Hilliard, Program Control Administrator
Eric Duff, State Environmental Administrator
Donn Digamon, State Bridge Engineer
Alan Davis, State Traffic Engineer
Angela Robinson, Financial Management Administrator
Erik Rohde, State Project Review Engineer
Patrick Allen, State Materials Engineer
Nick Fields, State Utilities Administrator
Eric Conklin, State Transportation Data Administrator
Attn: Systems & Classification Branch
Lee Howell, Statewide Location Bureau Chief
Paul DeNard, District 7 District Engineer
Landon Perry, District 7 Preconstruction Engineer
Shun Pringle, District 7 Utilities Manager
Courtney Cedor, Project Manager
BOARD MEMBER - 5th Congressional District



Limited Scope Project Concept Report

Template version: 2021.12.22

Project Type:	Reconstruction / Rehabilitation	P.I. Number:	0007952
GDOT District:	7	County:	Fulton
Federal Route Number:	N/A	State Route Number:	154
Project Number:	N/A		

The SR 154/Memorial Drive corridor between Connally Street and Grant Street is approximately 0.3 miles. The project would consist of expanding sidewalks on Memorial Drive to connect missing or damaged sidewalk portions and to upgrade to ADA standards where required.

**** Report updated 10-1-2022 to address review comments**

Submitted for approval:

Mitchell Greenway Stantec		4/06/2022 Date
Darius Morgan Local Government Sponsor, City of Atlanta	 <small>Digitally signed by Darius Morgan DN: cn=Darius Morgan, o=City Of Atlanta, ou=ATLDOT, email=dmorgan@atlantaga.gov, c=US Date: 2022.04.07 09:21:41 -0400'</small>	4/06/2022 Date
State Program Delivery Administrator		4/19/2022 Date
Ivie Goorsky GDOT Project Manager		4/11/2022 Date

Recommendation for approval: *** Recommendations on File - KLP**

* Eric Duff State Environmental Administrator		4-24-2022 Date
<i>FOI</i> * Oladimeji Onabanjo State Traffic Engineer		4-28-2022 Date
* Landon Perry <i>FOI</i> District Engineer		5-23-2022 Date

- * Albert Shelby, Director of Program Delivery, recommended for approval on 4-22-2022
- * Marcela Coll, State Utilities Pre-Construction Manager, recommended for approval on 4-24-2022
- * Alan Hood, Airport Safety Data Program Manager, recommended for approval on 4-25-2022
- * Erik Rohde, State Project Review Engineer, recommended for approval on 4-25-2022

- MPO Area: This project is consistent with the MPO adopted Regional Transportation Plan (RTP)/Long Range Transportation Plan (LRTP).
- Rural Area: This project is consistent with the goals outlined in the Statewide Transportation Plan (SWTP) and/or is included in the State Transportation Improvement Program (STIP).

* Matt Markham for Division of Planning	5-12-2022 Date
--	-------------------

Approval:

Concur:		10-19-2022 Date
Approve:	 <small>Digitally signed by Andrew Heath DN: C=US, E=atheath@dot.ga.gov, O=Georgia DOT, OU=Chief Engineer Office, CN=Andrew Heath Date: 2022.10.21 13:48:12 -0400'</small>	10/21/2022 Date

PROJECT LOCATION MAP



SR 154/Memorial Drive Corridor Improvements

PLANNING & BACKGROUND DATA

Prepared By: Stantec Date Completed: 12/12/2019

Project Justification Statement:

The City of Atlanta identified the need to provide improved sidewalk and American Disability Act (ADA) improvements for pedestrians accessing transit (MARTA 21 Line), restaurants, residential spaces, and schools on SR 154 Memorial Drive from Grant Street to Connolly Street. At present, sidewalk exists within the project area, but requires maintenance and replacement due to the presence of cracked or spalled concrete, alligator cracking and vertically displaced joints. Other locations exhibit obstructions, walls, and impedances that reduce sidewalk widths, and provide limited separation between pedestrians and oncoming traffic.

Therefore, the scope of work will consist of improvements to ramps, and the installation of sidewalks on the north and south side of SR 154 Memorial Drive from Connolly Street to Grant Street. Existing curb is to remain where possible, and a planting strip would be installed between the new sidewalks and the curb for added separation between the pedestrian and oncoming traffic.

Existing conditions:

The project area is on State Route (SR) 154/Memorial Drive from Connolly Street to Grant Street in the City of Atlanta. Memorial Drive is a 5-lane state route (SR 154) that includes a center turn lane and is classified as an Urban Minor Arterial. Sidewalk widths vary from 5 to 8 feet in width. The SR 154/Memorial Drive corridor between Connolly Street and Grant Street is approximately 0.3 miles in length. The posted speed limit is 35 miles per hour during non-school times. School zone speed limit is 25 miles per hour when indicator lights are flashing.

There are utility poles within the existing sidewalk on the south side of SR 154 /Memorial Drive from Hill Street to Kelley Street that reduces the sidewalk width for the segment by 2 ft at this location. Other obstructions such as walls from Moore Street extending east to Hill Street on SR 154 Memorial Drive, encroaches onto existing sidewalk and reduces the sidewalk width by (1.5 ft). As a result, there is minimal buffer separation between pedestrians and oncoming traffic at these locations.

Other projects in the area:

- City of Atlanta Locally Funded Sidewalk Improvements:
 - Dahlgren Street to Lamont Street
 - Wyman Street to Clay Street
 - Douglas Street to Watson Street
 - 2nd Avenue to 4th Avenue

MPO: Atlanta Regional commission (ARC) **TIP #:** AT-243

Congressional District(s): 5

Federal Oversight: PoDI Exempt State Funded Other

Projected Traffic*: 24 HR T: n/a % Current Year (20ww): n/a
Open Year (20xx): n/a Design Year (20yy): n/a

Traffic data source: n/a

Traffic Projections Performed by: n/a

Date approved by the GDOT Office of Planning: n/a

* Note: Traffic Study not required for sidewalk improvement project.

AASHTO Functional Classification (Mainline): Minor Arterial

AASHTO Context Classification (Mainline): Urban

AASHTO Project Type (Mainline): Construction on existing roads

Is the project located on a NHS roadway? No Yes

Complete Streets - Bicycle, Pedestrian, and/or Transit Standards Warrants:

Warrants met: None Bicycle Pedestrian Transit

1. Memorial Drive has header curb and pedestrian travel generators and destinations.

Is this a 3R (Resurfacing, Restoration, & Rehabilitation) Project? No Yes

Pavement Evaluation and Recommendations

Initial Pavement Evaluation Summary Report Required? No Yes

Feasible Pavement Alternatives: HMA PCC HMA & PCC

Is the project located on a Special Roadway or Network? No Yes

Do the limits of the project include one or more signalized intersections? No Yes

Is Federal Aviation Administration coordination anticipated? No Yes

DESIGN AND STRUCTURAL

Description of the proposed project: This project will improve pedestrian facilities along SR 154/Memorial Drive corridor between Connally Street and Grant Street in Atlanta, Georgia. The total length of the project is approximately 0.3 miles. Sidewalks within the project scope will be replaced, where possible, with wider panels and buffer strips. An exception is the south side of Memorial Drive between Hill and Harden Streets where new sidewalk was recently constructed. Sidewalks on the south side of Memorial will be widened to 6 feet with 2-foot buffer strips. Sidewalks on the north sides will be widened to 8 feet with 4-foot buffer strips. An exception on the north side is from Connally to Moore St, where physical limitations will necessitate a 6-foot sidewalk and 2-foot buffer strip. Landscaping is not included in this project.

Ramps will be replaced in accordance with ADA standards upgrades are proposed at the following intersections along Memorial Drive: intersections with Connally St., Kelly St, Moore St. Hill St., Fort St., Harden St. and Grant St. Ramps. Crosswalks will be restriped pending coordination with GDOT’s resurfacing program. Crosswalks within the project’s limits will be restriped, but resurfacing of asphalt is not included in the scope of work. Resurfacing will be performed under another project that is not yet programmed. No ground disturbing activities are anticipated within the roadway pavement limits of the project area.

Major Structures:

Structure	Existing	Proposed
Retaining wall	5 feet to 7 feet retaining wall deflecting out and in some disrepair	Demolish existing wall and return to natural grade, where determined feasible during the project development and design processes

Mainline Design Features:

<i>Memorial Drive #1-Connally Street to Grant Street</i>	Functional Classification: <i>Minor Arterial</i>		
Feature	Existing	*Policy	Proposed
Typical Section:			
- Number of Through Lanes	4 (travel lanes)		4 (travel lanes)
- Lane Width(s) (-ft)	9-10 feet	11-12 feet	No Change
- Median Width (-ft) & Type	9 feet Flush	14 feet	No Change
- Shoulder Width (-ft) (Outside)	N/A		N/A
- Border Area Width (-ft)	10-15 feet	10-16 feet	10-15 feet
- Cross Slope (%)	2	2	2
- Outside Shoulder Slope (%)	N/A	N/A	N/A
- Sidewalks (-ft)	Varies 5-8 feet / Concrete	5 feet	Varies 6-8 feet / Concrete
- Auxiliary Lanes	1 TWLTL / 9 feet width		No Change
- Bike Accommodations	N/A	N/A	N/A
Posted Speed (mph)	35 MPH		35 MPH
Design Speed (mph)	35 MPH	35 MPH**	35 MPH
Minimum Horizontal Curve Radius (-ft)	None	375 feet	None
Maximum Superelevation Rate (%)	N/A	N/A	N/A
Maximum Grade (%)	3%	7%	3%
Access Control	Permitted	Permitted	Permitted
Design Vehicle	WB-67		WB-67
Check Vehicle	N/A		N/A
Pavement Type	HMA		HMA

*According to current GDOT Design Policy if applicable

** The posted speed limit for the project area is 35 MPH. A portion of Memorial Drive is within a school zone, beginning west of Connally Street and ending east of Hill Street. The speed limit is reduced to 25 mph when indicator lights are flashing.

Design Exceptions/Design Variances to FHWA or GDOT Controlling Criteria anticipated: None

Design Variances to GDOT Standard Criteria anticipated: Yes

1. Lateral offset design variance anticipated. Utility poles are within minimum lateral offset with limited opportunities for relocation

Lighting Proposed: No Yes

Off-site Detours Anticipated: No Undetermined Yes

If yes: Roadway type to be closed: Local Road State Route

Detour Route selected: Local Road State Route

District Concurrence w/Detour Route: No/Pending Received

Detour Presented to Public: No Yes

Transportation Management Plan [TMP] Required: No Yes Non-Significant

INTERCHANGES AND INTERSECTIONS

Interchanges/Major Intersections:

- *Memorial Drive at Hill Street is an existing signalized intersection within the project limits. The signal was recently upgraded by GDOT to a mast arm signal with new crosswalks and upgraded pedestrian signals.*
- *Memorial Drive at Grant Street is an existing signalized intersection within the project limits. The Grant Street legs are offset. The signal was recently upgraded by GDOT to a mast arm signal with new crosswalks and upgraded pedestrian signal heads.*

Intersection Control Evaluation (ICE) Required: No Yes

Note: The scope of this project consists of improvements to ramps, and the installation of sidewalks on the north and south side of SR 154 Memorial Drive from Connally Street to Grant Street. There is neither the proposed road diet nor the intersection signal improvement. Therefore, the impact to existing traffic is minimized and ICE study is not required.

Roundabout Concept Validation Required: No Yes Completed

UTILITY AND PROPERTY

Railroad Involvement: N/A

Utility Involvements:

- POWER Georgia Power Distribution, Georgia Power Transmission, MARTA Electric
- TELEPHONE AT&T/D Telecom, AT&T/T Telecom
- GAS Atlanta Gas & Light
- WATER City of Atlanta Department of Watershed Management
- SEWER City of Atlanta Sewer Department
- CABLE Comcast Telecom
- FIBEROPTICS Crown Castle NG Networks, Inc.

SUE Required: No Yes

Since this is a sidewalk project and excavation is expected to be minimal, SUE is not anticipated.

Public Interest Determination Policy and Procedure recommended: No Yes

Right-of-Way (ROW): Existing width: 65ft. Proposed width: 69ft.

Required Right-of-Way anticipated: None Yes Undetermined

Easements anticipated: None Temporary Permanent * Utility Other

** Permanent easements include the right to place utilities.*

Anticipated total number of impacted parcels:		18**
Displacements anticipated:	Businesses:	0
	Residences:	0
	Other:	0
Total Displacements:		0

**Of the 18 impacted parcels, eleven (11) belong to City of Atlanta and internal acquisition will be performed by COA.

Project Meetings:

- Monthly Coordination Meetings
- Concept Team Meeting (CTM) – 10/15/2019 (CTM notes are attached.)
- A Public Information Open House is anticipated during Winter 2023.

Other coordination to date: Property owners were notified of impending field work (topographic survey and environmental surveys) as part of the project's public outreach program.

- Environmental Survey Notification Ecology & History Field Survey Letters (7/2/2019)
- Survey Notification (7/10/2019)
- Section 106 Early Coordination letters (7/9/2019)
- Phase I Assessment Notification Letters: (8/12/2019)

Project Activity	Party Responsible for Performing Task(s)
Concept Development	Stantec/City of Atlanta
Design	Stantec/City of Atlanta
Right-of-Way Acquisition	City of Atlanta
Utility Coordination (Preconstruction)	City of Atlanta
Utility Relocation (Construction)	Utility Providers
Letting to Contract	City of Atlanta
Construction Supervision	City of Atlanta
Providing Material Pits	Contractor
Providing Detours	Contractor
Environmental Studies, Documents, & Permits	Stantec/City of Atlanta
Environmental Mitigation	Contractor
Construction Inspection & Materials Testing	GDOT

Project Cost Estimate Summary and Funding Responsibilities:						
	PE Activities		ROW	Reimbursable Utilities	CST*	Total Cost
	PE Funding	Section 404 Mitigation				
Date of Estimate:	12/17/2019	N/A	12/17/2019	5/13/2022	7/15/2022	
Proposed Funding Source(s):	Federal/Local	N/A	Federal/Local	-	Federal/Local	
Programmed Cost:	\$437,500.00		\$174,800.00	\$0.00	\$1,309,218.75	\$1,921,518.75
Estimated Cost:	\$437,500.00	N/A	\$1,050,000.00**	\$0.00	\$904,946.02	\$2,392,446.02
Total Cost Difference:						\$470,927.27

*CST Cost includes Construction, Engineering and Inspection, Contingencies and Asphalt Fuel Price Adjustment.

**The number of impacted parcels has been increased as well as land and improvement values. Of the 18 impacted parcels, eleven (11) belong to City of Atlanta and internal acquisition will be performed by COA.

ALTERNATIVES DISCUSSION

Alternative selection:

Preferred Alternative: The proposed project will add new buffer strips, sidewalks, curbs where necessary and new ADA accessible curb ramps along approximately 0.3 miles of State Route (SR) 154 / Memorial Drive in the City of Atlanta. The project is intended to improve accessibility for both pedestrians and vehicles.			
Estimated Property Impacts:	18	Estimated Total Cost:	\$2,392,446.02
Estimated ROW Cost:	\$1,050,000	Estimated CST Time:	180 days
Rationale: <i>This alternative will be the most cost effective and time efficient approach to providing pedestrian and accessibility to a rapidly changing corridor that is currently in poor condition.</i>			

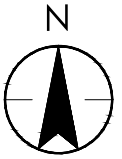
No-Build Alternative: <i>Leave the existing corridor in the existing condition. There is lack of sidewalk and ADA accessibility with sidewalks in poor condition, non-accessible ramps, non-compliant cross-slopes, and a lack of consistent width. Inadequate road crossings and sidewalk deficiencies limit pedestrian connectivity along the corridor. Access Management issues along some of the properties create numerous conflicts between vehicles and pedestrians. No additional beautification elements will be added to the corridor.</i>			
Estimated Property Impacts:	0	Estimated Total Cost:	0
Estimated ROW Cost:	0	Estimated CST Time:	0 days
Rationale: This alternate was not selected because pedestrian accessibility will go unaddressed. As this corridor grows and redevelops, adequate and accessible pedestrian facilities will have to be considered. These needed improvements will contribute to the redevelopment and economic vitality of the corridor that is currently in poor condition.			

Comments:

- The City of Atlanta has current lighting maintenance agreements that are signed on a per-project basis. They are committed to maintaining the lighting on this corridor once complete.
- The City of Atlanta maintains landscaping agreements along the medians in the corridor. They will maintain the landscaping along the corridor post-construction.

LIST OF ATTACHMENTS/SUPPORTING DATA

1. Concept Layout
2. Typical Sections
3. Detailed Cost Estimates:
 - a. Construction including Engineering and Inspection and Contingencies
 - b. Revisions to Programmed Costs forms, & Liquid AC Cost Adjustment forms
 - c. Right-of-Way
 - d. Utilities
4. Concept Utility Report
5. MS4 Concept Report Summary
 - a. MS4 Concept Report Summary
 - b. MS4 Drainage Area Layout
6. Concept Team Meeting Minutes



N/F Atlanta Housing Authority
TP# 14 005200080406
(DB/PG Not Found)
Possible R/W "Takes"
Not Found

CONNALLY STREET
(50' R/W)

N/F Atlanta Development Authority
TP# 14 005200090132
DB/PG# 57888-287

N/F Atlanta Development Authority Dba
TP# 14 005200090199
DB/PG# 57888-287

N/F 208 Memorial LLC
TP# 14 005200090330
DB/PG# 57342-444

MOORE STREET
(30' R/W)

N/F City Of Atlanta
TP# 14 005200100337
DB/PG# 44975-212

N/F City Of Atlanta
TP# 14 005200100154
DB/PG# 44686-197

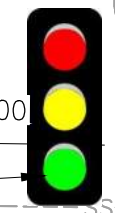
N/F City Of Atlanta
TP# 14 005200100107
DB/PG# 44686-20

BEGIN PROJECT
MEMORIAL DRIVE
STA. 10+00.00

EXISTING RETAINING
WALL TO BE REMOVED

PIPE SIZE & TYPE ?

EXIST. TRAFFIC SIGNAL
TO REMAIN (TYP.)



N/F Atlanta Housing Authority
TP# 14 005300020013
(DB/PG Not Found)
Possible R/W "Takes"
Not Found

CONNALLY STREET
(50' R/W)

N/F Atlanta Housing Authority
TP# 14 005300020021
DB/PG# 22924-87

REQ'D R/W
(TYP.)

TEMPORARY
CONSTRUCTION
EASEMENT (TYP.)

KELLY STREET
(50' R/W)

N/F Quixotic Inc
TP# 14 005300031085
DB/PG# 19583-181

N/F Quixotic Inc
TP# 14 005300030020
DB/PG# 19583-181

N/F Quixotic Inc
TP# 14 005300030038
DB/PG# 19583-181

CONCRETE VALLEY
GUTTER (TYP.)

MATCHLINE STA 15+00 SEE SHEET 2

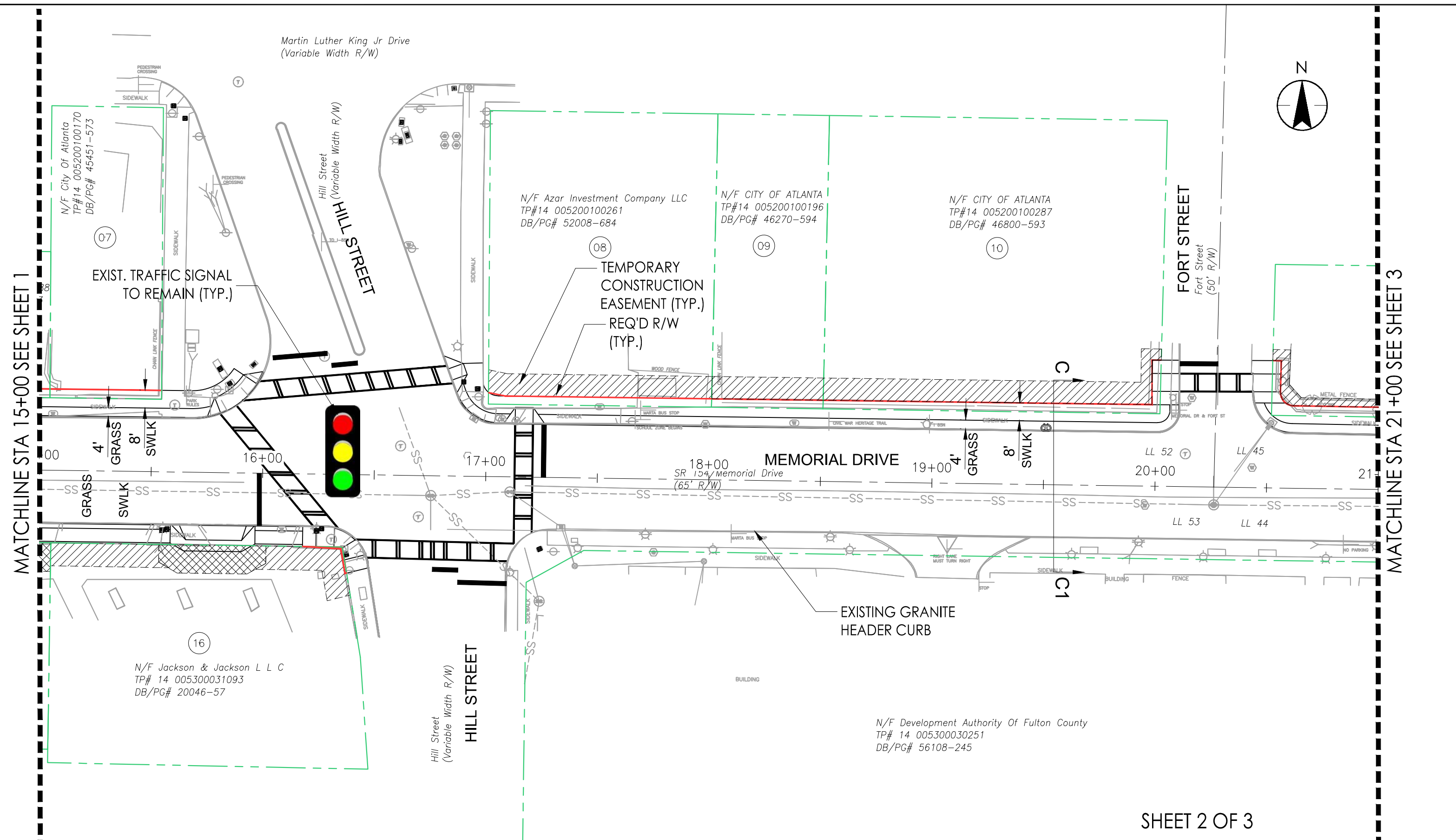
SHEET 1 OF 3

LEGEND

	EXISTING R/W OR PROPERTY LINE
	PROPOSED SIDEWALK / RAMP
	REQUIRED RIGHT OF WAY
	TEMPORARY CONSTRUCTION EASEMENT
	DRIVEWAY EASEMENT

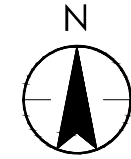
CONCEPT PLAN
FC-10034 MEMORIAL DRIVE CORRIDOR IMPROVEMENT
P.I. NUMBER 0007952





MATCHLINE STA 15+00 SEE SHEET 1

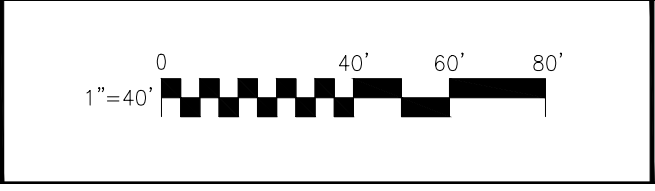
MATCHLINE STA 21+00 SEE SHEET 3



SHEET 2 OF 3

LEGEND	
	EXISTING R/W OR PROPERTY LINE
	PROPOSED SIDEWALK / RAMP
	REQUIRED RIGHT OF WAY
	TEMPORARY CONSTRUCTION EASEMENT
	DRIVEWAY EASEMENT

CONCEPT PLAN
FC-10034 MEMORIAL DRIVE CORRIDOR IMPROVEMENT
P.I. NUMBER 0007952





MATCHLINE STA 21+00 SEE SHEET 2

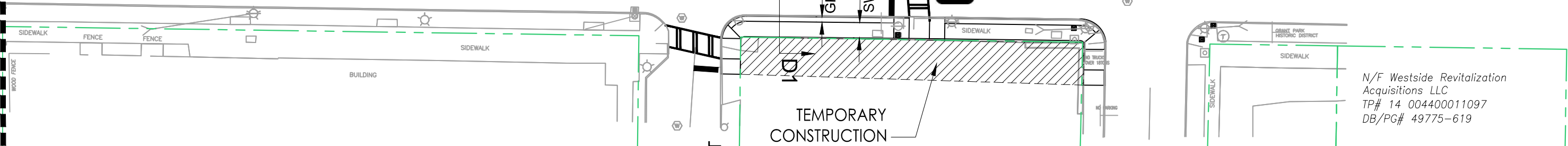
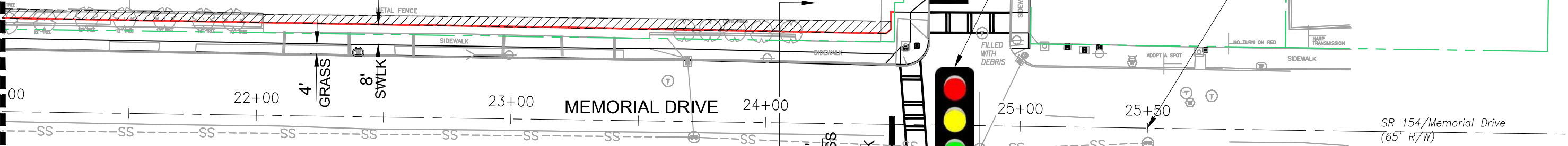
11

N/F City of Atlanta
TP#14 004500080836
DB/PG# 47432-629

N/F City of Atlanta
TP#14 004500080588

END PROJECT
MEMORIAL DRIVE
STA. 25+50.00

EXIST. TRAFFIC SIGNAL
TO REMAIN (TYP.)



N/F 301 Development Company LLC
TP# 14 005300030327
DB/PG# 53409-519

Harden Street
(40' R/W)

TEMPORARY
CONSTRUCTION
EASEMENT (TYP.)

17

N/F Ted L Griffin Jr Trustee Etal
TP# 14 004400011006
DB/PG# 24554-157

Grant Street
(50' R/W)






N/F Westside
Revitalization
Acquisitions LLC
TP# 14 004400010164
DB/PG# 49775-619

N/F Westside Revitalization
Acquisitions LLC
TP# 14 004400011097
DB/PG# 49775-619

SR 154/Memorial Drive
(65' R/W)

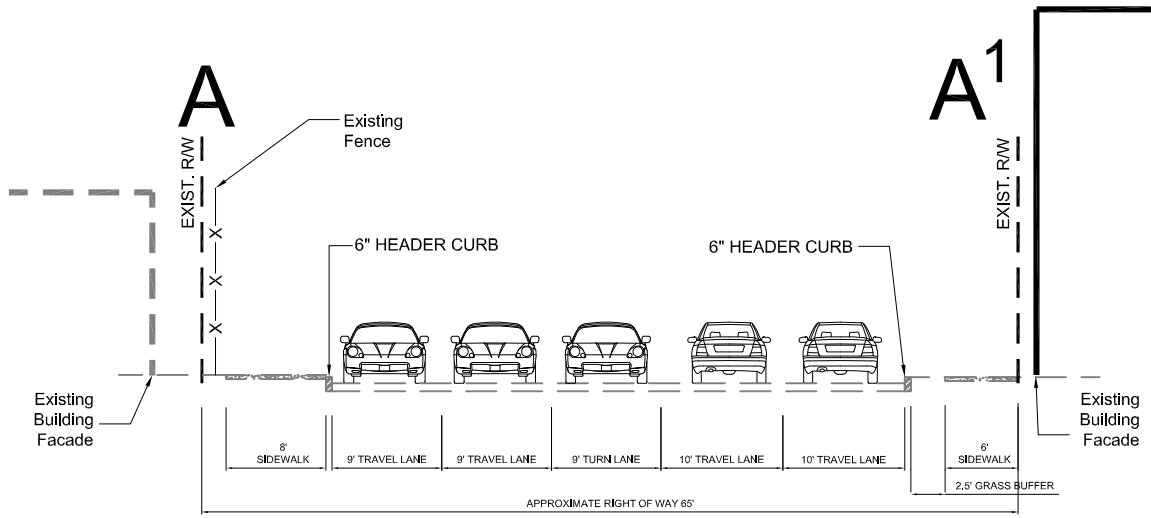
SHEET 3 OF 3

LEGEND

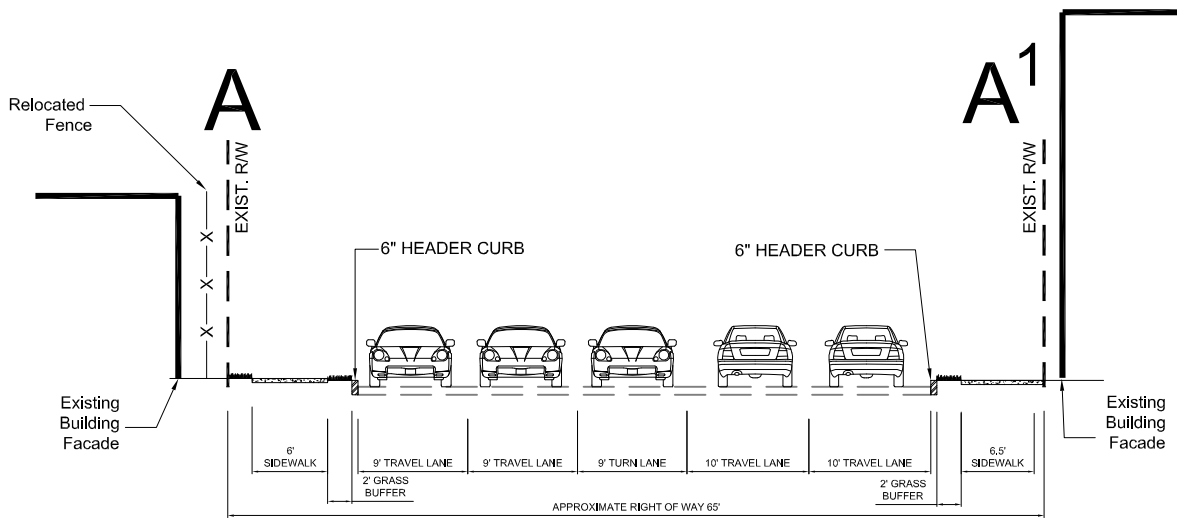
-  EXISTING R/W OR PROPERTY LINE
-  PROPOSED SIDEWALK / RAMP
-  REQUIRED RIGHT OF WAY
-  TEMPORARY CONSTRUCTION EASEMENT
-  DRIVEWAY EASEMENT

CONCEPT PLAN
FC-10034 MEMORIAL DRIVE CORRIDOR IMPROVEMENT
P.I. NUMBER 0007952

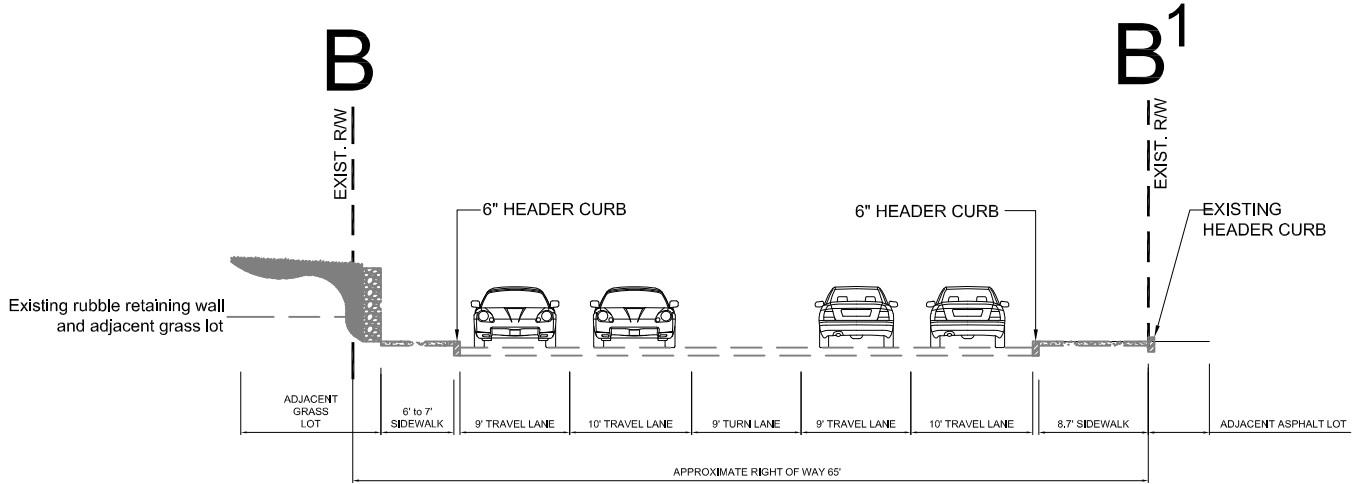




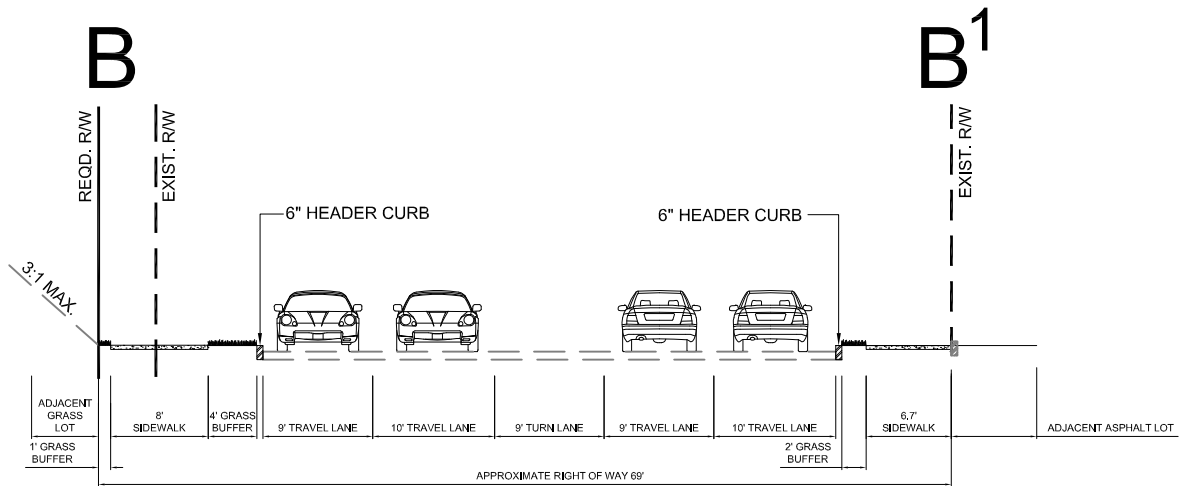
Typical Existing Section A-A1
(Looking East)



Typical Proposed Section A-A1
(Looking East)
STA. 10+00

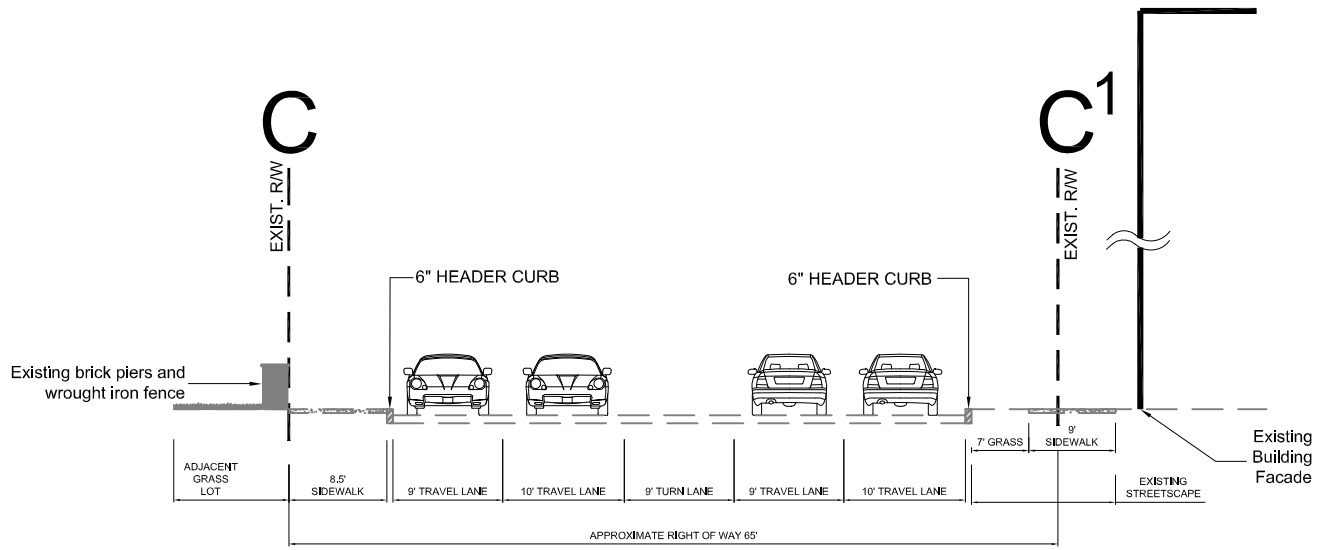


Typical Existing Section B-B1
 (Looking East)

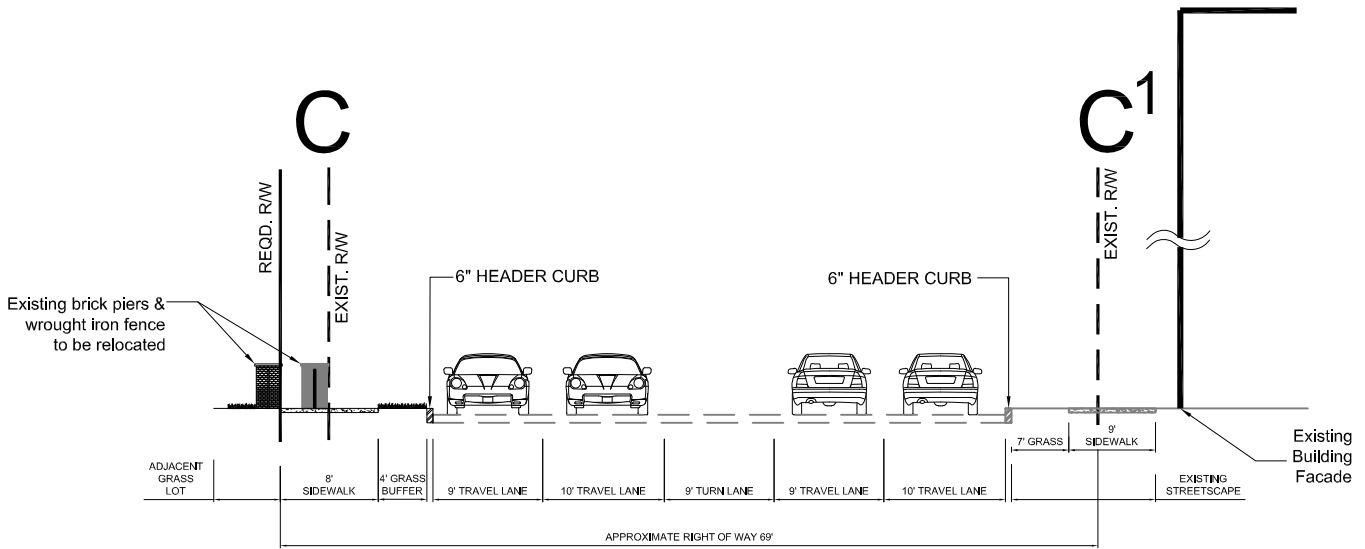


Typical Proposed Section B-B1
 (Looking East)

STA. 14+75

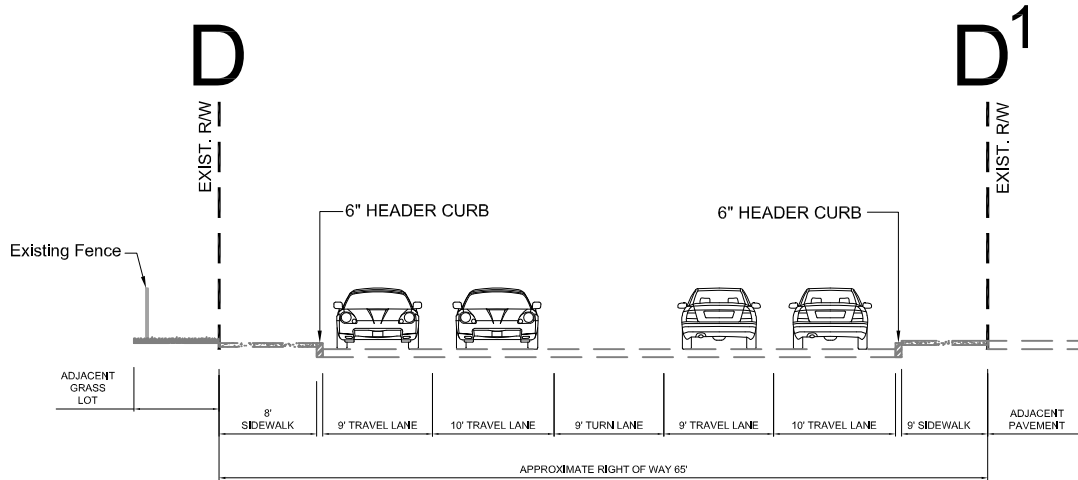


Typical Existing Section C-C1
(Looking East)

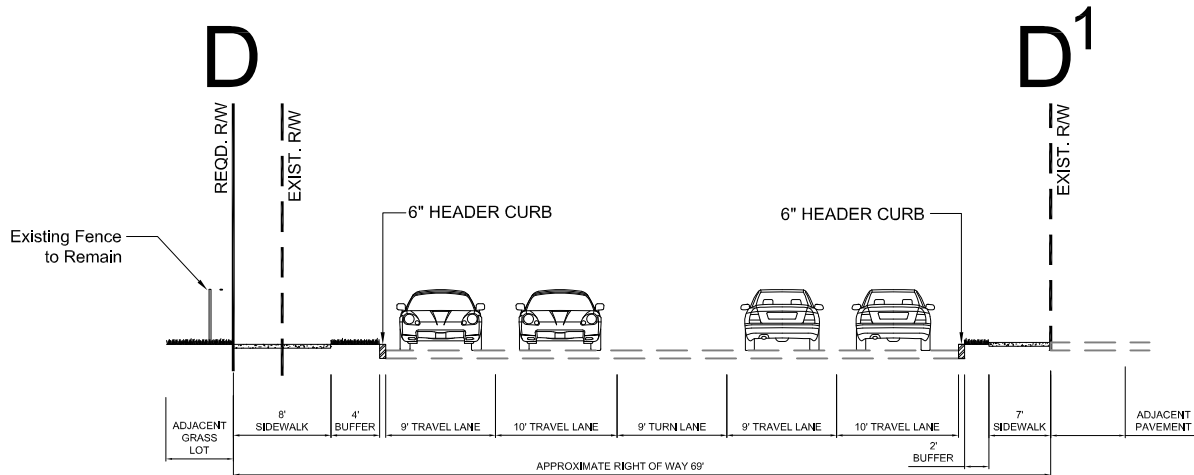


Typical Proposed Section C-C1
(Looking East)

STA. 19+55



Typical Existing Section D-D1
(Looking East)



Typical Proposed Section D-D1
(Looking East)
STA. 24+05

Interoffice Memo

FILE

PI NUMBER	0007952	PROJECT DESCRIPTION	SR 154/MEMORIAL DRIVE CORRIDOR IMPROVEMENTS
OFFICE	Office of Program Delivery		
DATE	Friday, September 30, 2022		

From: Kimberly W Nesbitt, State Program Delivery Administrator

To: Erik Rohde, P.E., State Project Review Engineer
via email Mailbox: CostEstimatesandUpdates@dot.ga.gov

Subject: REVISIONS TO PROGRAMMED COSTS

Project Manager:	Ivie Goorsky
Management Let Date:	7/15/2024
Management Right of Way Date:	5/15/2021

Cost Estimate Review Iteration

Date of Submittal #1	09/30/2022
Date of Submittal #2	
Date of Submittal #3	

Summary of Programmed Costs and Proposed Revised Costs:

Estimate Type	Cost Estimate Amounts (T-Pro Without Inflation)	Last Estimate Date	Revised Cost Estimate
CONSTRUCTION	\$1,309,218.75	N/A	\$904,946.02
RIGHT OF WAY	\$174,800.00	N/A	\$1,050,000.00
UTILITIES	\$0.00	N/A	

Explanation for Cost Change and Contingency Justification:

(Please note below if the unit prices presented in the construction cost estimate were reviewed or derived by professional estimators external to GDOT.)

Attachments:


Detailed Cost Estimate Printout from AASHTOWare
ROW Cost Estimate
Utility Cost Estimate

Design Phase Leader Validation of Final QC/QA for Construction Cost Estimate Used In This Revision to Programmed Costs:

Consultant Company or GDOT Design Office:	Stantec Consultant Services Inc.
---	----------------------------------

Printed Name:	Mitchell Greenway
---------------	-------------------

Title:	Principal
--------	-----------

Signature:	
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Date:	7/15/2022
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FOR PROJECTS WITH A LOCAL SPONSOR

If the project has a local sponsor, the project manager should ensure that the local authority completes the following validation indicating that it has reviewed the construction cost estimate and whether it is in concurrence with the construction costs presented.

Please select the appropriate validation below upon review of the cost estimate:

- I acknowledge that I have reviewed the project construction cost estimate and concur with the costs presented.
- I acknowledge that I have reviewed the project construction cost estimate but do not concur with the costs presented.

Please provide an explanation for non-concurrence.	
--	--

Local Authority Name and Title:	
---------------------------------	--

Local Authority Signature:	
----------------------------	--

Date:	
-------	--

Project Cost Estimate

Concept Name: 0007952 Cost Estimate Name: 0007952

Projects Cost Estimate

Processed on: Jul-26-2022 03:00 PM

CONCEPT NAME: 0007952 COST ESTIMATE NAME: 0007952
SPEC YEAR: 21
ITEM HISTORY: BHP-ALL - Statewide - 24 months
DESCRIPTION: SR 154/Memorial Drive between Connally Street and Grant Street
ESTIMATE PHASE: 2-DE - Designers Estimate

ITEMS FOR CONCEPT NAME 0007952

0100 - Roadway

Line Number	Item	Quantity	Units	Price	Description	Amount
5	150-1000	1.00	LS	\$50,000.00	TRAFFIC CONTROL - 0007952	\$50,000.00
10	210-0100	1.00	LS	\$150,000.00	GRADING COMPLETE - 0007952	\$150,000.00
15	437-1300	2400.00	LF	\$65.00	STRAIGHT GRANITE CURB, 5 IN X 16 IN, TP A	\$156,000.00
25	441-0104	1845.00	SY	\$44.36	CONC SIDEWALK, 4 IN	\$81,843.37
30	441-0106	250.00	SY	\$65.00	CONC SIDEWALK, 6 IN	\$16,250.00
125	441-0108	155.00	SY	\$92.41	CONC SIDEWALK, 8 IN	\$14,323.88
130	634-1200	39.00	EA	\$177.95	RIGHT OF WAY MARKERS	\$6,939.88
Roadway Total						\$475,357.13

0110 - Pavement

Line Number	Item	Quantity	Units	Price	Description	Amount
145	402-3130	17.00	TN	\$191.94	RECYCLED ASPH CONC 12.5 MM SUPERPAVE, GP 2 ONLY, INCL BITUM MATL & H LIME	\$3,263.06
105	413-0750	10.00	GL	\$4.23	TACK COAT	\$42.25
140	432-0206	200.00	SY	\$16.20	MILL ASPH CONC PVMT, 1 1/2 IN DEPTH	\$3,239.15
20	441-0018	300.00	SY	\$77.11	DRIVEWAY CONCRETE, 8 IN TK	\$23,132.80
135	500-9999	60.00	CY	\$372.58	CLASS B CONC, BASE OR PVMT WIDENING	\$22,354.68
Pavement Total						\$52,031.94

0200 - Drainage

Line Number	Item	Quantity	Units	Price	Description	Amount
50	611-3000	10.00	EA	\$3,320.77	RECONSTR CATCH BASIN, GROUP 1	\$33,207.69
55	611-3010	10.00	EA	\$3,203.95	RECONSTR DROP INLET, GROUP 1	\$32,039.50
60	611-3030	5.00	EA	\$2,477.86	RECONSTR STORM SEW MANHOLE, TYPE 1	\$12,389.32
70	668-4300	5.00	EA	\$3,394.37	STORM SEWER MANHOLE, TP 1	\$16,971.83
Drainage Total						\$94,608.34

0300 - Temporary Erosion Control

Line Number	Item	Quantity	Units	Price	Description	Amount
75	163-0232	1.00	AC	\$442.08	TEMPORARY GRASSING	\$442.08
80	163-0240	30.00	TN	\$323.92	MULCH	\$9,717.54
85	163-0550	10.00	EA	\$261.08	CONSTRUCT AND REMOVE INLET SEDIMENT TRAP	\$2,610.75
35	165-0030	1000.00	LF	\$0.75	MAINTENANCE OF TEMPORARY SILT FENCE, TP C	\$748.74
90	165-0105	10.00	EA	\$89.53	MAINTENANCE OF INLET SEDIMENT TRAP	\$895.25
40	171-0030	1000.00	LF	\$4.97	TEMPORARY SILT FENCE, TYPE C	\$4,968.41
Temporary Erosion Control Total						\$19,382.77

0400 - Permanent Erosion Control

Line Number	Item	Quantity	Units	Price	Description	Amount
110	700-9300	1750.00	SY	\$8.12	SOD	\$14,210.63
Permanent Erosion Control Total						\$14,210.63

0600 - Signing

Line Number	Item	Quantity	Units	Price	Description	Amount
45	611-5360	25.00	EA	\$192.33	RESET HIGHWAY SIGN	\$4,808.27
Signing Total						\$4,808.27

0610 - Pavement Marking

Line Number	Item	Quantity	Units	Price	Description	Amount
115	653-1704	237.00	LF	\$7.71	THERMOPLASTIC SOLID TRAF STRIPE, 24 IN, WHITE	\$1,826.32
120	653-1804	1622.00	LF	\$3.34	THERMOPLASTIC SOLID TRAF STRIPE, 8 IN, WHITE	\$5,411.38
Pavement Marking Total						\$7,237.70
0700 - Signals						
Line Number	Item	Quantity	Units	Price	Description	Amount
155	647-1000	1.00	LS	\$18,000.00	TRAFFIC SIGNAL INSTALLATION NO - 1	\$18,000.00
160	647-1000	1.00	LS	\$27,000.00	TRAFFIC SIGNAL INSTALLATION NO - 2	\$27,000.00
165	647-1000	1.00	LS	\$18,000.00	TRAFFIC SIGNAL INSTALLATION NO - 3	\$18,000.00
Signals Total						\$63,000.00
1100 - Utilities						
Line Number	Item	Quantity	Units	Price	Description	Amount
65	670-9710	5.00	EA	\$3,102.37	RELOCATE EXIST FIRE HYDRANT	\$15,511.87
Utilities Total						\$15,511.87
1300 - Landscaping						
Line Number	Item	Quantity	Units	Price	Description	Amount
150	643-8300	200.00	LF		ORNAMENTAL FENCE	
100	754-4000	10.00	EA	\$1,200.00	WASTE RECEPTACLE UNIT	\$12,000.00
95	754-5000	10.00	EA	\$2,500.00	BENCH	\$25,000.00
Landscaping Total						\$37,000.00

TOTALS FOR CONCEPT NAME 0007952

ITEMS COST:	\$783,148.65
TYPICAL SECTION:	\$0.00
AdHoc PRICING:	\$0.00
ESTIMATED COST:	\$783,148.65
CONTINGENCY PERCENT:	
ENGINEERING AND INSPECTION:	
ESTIMATED COST WITH CONTINGENCY AND E&I:	

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Interoffice Memo

FILE

Project No: n/a
 County: **Fulton**
 P.I.#: **0007952**

Office: **District 7 Chamblee**
 Date: **5/13/2022**

Description: **Intersection improvement on SR 42/US 23 @ CS 2113/Arkwright Place**

FROM Shun L. Pringle , District Utilities Manager

TO Ivie Goorsky, Project Manager

SUBJECT PRELIMINARY UTILITY COST ESTIMATE

A review of utilities located on the above referenced project has been conducted with Concept Layout plans. Listed below is a breakdown of the anticipated reimbursable and non-reimbursable cost.

<u>Utility Owner</u>	<u>Reimbursable</u>	<u>Non-Reimbursable</u>	<u>In Contract/CIA (Non-Reimbursable)</u>	<u>Estimate Based on</u>
Georgia Power - Distribution	\$0.00	\$0.00	\$0.00	Site Visit / Available Drawings Design Variance Anticipated Anticipate No Conflicts
Georgia Power - Transmission	\$0.00	\$0.00	\$0.00	Site Visit / Available Drawings Design Variance Anticipated Anticipate No Conflicts
Comcast	\$0.00	\$0.00	\$0.00	Site Visit / Available Drawings Anticipate No Conflicts
City of Atlanta - Water	\$0.00	\$0.00	\$22,500.00	Site Visit / Available Drawings
City of Atlanta - Sewer	\$0.00	\$0.00	\$0.00	Site Visit / Available Drawings Anticipate No Conflicts
Atlanta Gas Light	\$0.00	\$0.00	\$0.00	Site Visit / Available Drawings Anticipate No Conflicts
AT&T	\$0.00	\$5,000.00	\$0.00	Site Visit / Available Drawings
Crown Castle	\$0.00	\$800.00	\$0.00	Site Visit / Available Drawings
Google Fiber	\$0.00	\$1,600.00	\$0.00	Site Visit / Available Drawings
Level 3	\$0.00	\$1,600.00	\$0.00	Site Visit / Available Drawings
Unifi Fiber	\$0.00	\$800.00	\$0.00	Site Visit / Available Drawings
Total	100.00%	\$0.00	\$9,800.00	\$22,500.00
Department Responsibility	100.00%	\$0.00		\$22,500.00
Local Sponsor Responsibility	0.00%	\$0.00		\$0.00
				PFA Dated N/A with N/A

Estimate is based on the best available information at the current stage, unforeseen prior rights information may be provided by the Utility Company at a later date that could cause some non-reimbursable costs to shift to the reimbursable cost column.

If additional information is needed, please contact Gene McKissick, gmckissick@dot.ga.gov or 706-741-0448.

SLP:GM

cc: Nickolas Fields, State Utilities Administrator
 Marcela Coll, State Utilities Preconstruction Manager
 File

Concept Utility Report

Project Number: CSHPP-0007-00(952)

District: 7 Chamblee

County: Fulton

Prepared by: Adam Carducci

P.I. # 0007952

Date: 9/25/2019

Project Description: SR 154/Memorial Drive Corridor Improvements

The information provided herein has been gathered from Georgia811and/or field visits and serves as an estimate. Nothing contained in this report is to be used as a substitute for 1st Submission or SUE.

Are SUE services recommended? Yes

Level: A B C D

Public Interest Determination (PID):

Automatic Mandatory Consideration No Use Exempt

Is a separate utility funding phase recommended? No

Potential Project (Schedule/Budget) Impacts: Additional Right of way may need to be aquired, with the right to place permanent utilites.

Capital Improvement Projects (Utilities) Anticipated in the Area: No

Project Specific Recommendations for Avoidance/Mitigation: Minimum lateral clearance 35 MPH to 40 MPH is eight feet for clear zone requirments. Pole relocation mitigation may be requested based on traffic data.

Right of Way Coordination: No

Environmental Coordination: N/A

Additional Remarks: As mentioned from previous report, no significant impacts to existing utilities are presently known, for the exception of the City of Atlanta may need to relocate valves and adjust hydrants to grade. COA will need to be notified per a MOU/CIA bases to be placed in contract.

Utilities have facilities within the project limits.

Utilities have been identified using Georgia811 and/or field visits.

Facility Owner	Facility Owner Contact Email Address	Existing Facilities/ Appurtenances	General Description of Location	Facilities to Avoid <i>approx. limits</i>	Facilities Retention Recommended <i>approx. limits</i>	Comments
Georgia Power Transmission	Melissa S. Wheeler Georgia Power Company Transmission Project Manager - DOT 241 Ralph McGill Blvd Atlanta, GA 30308 P. 404.506.2745 E. mswheele@southernco.com	Type 1 and 2 overhead poles	Along existing back of curb	Within project limits	Please refer to UAM policy 2.8.B.1	Utility plans needed.
Atlanta Gas and Light	Victoria Cawthon 10 Peachtree Place NE Suite 1000 Atlanta, GA 30309 404-584-3481 office vcawthon@southernco.com	Service lines, shut off valves and meters	Will need to be assessed when 24 series plans are available	Will need to be assessed based on 24 series plans.	No, should not be in conflict.	
City of Atlanta Deptment of Watershed Management	Joe Mitchell Carpenter City of Atlanta Bureau of Drinking Water 72 Marietta Street, NW – 5th Floor Atlanta, GA 30303 Jcarpenter@atlantaga.gov	Water meters, valves, hydrants, service lines	Will need to be assessed when 24 series plans are available	Will need to be assessed based on 24 series plans.	No, should not be in conflict	
AT&T	Hunter Spinks, AT&T Construction and Engineering 575 Morosgo Dr Atlanta, GA 30324 cs0477@att.com	Overhead OSP Fiber	Within project limits	Will need to be assessed based on 24 series plans.	No, will not be in conflict	
Comcast	Charles Ross, MBA Comcast Communication, Inc. 922 Elnora Drive Marietta, GA 30066 Charles_Ross@cable.comcast.com	Overhead Coaxial	Within project limits	Will need to be assessed based	No, will not be in conflict	

				on 24 series plans.		
Century Link	Level 3 Communications, LLC Michael Mayes 345 Courtland Street Atlanta, GA 30308 Michael.Mayes@centurylink.com	Fiber Optic Cable	Within project limits	N/A	No, will not be in conflict	
Google Fiber	Scott Simcox 10 10th Street Atlanta, GA 30309 (678) 888-1969 ssimcox@google.com	Fiber Optic Cable	Within project limits	N/A	No, will not be in conflict	
Crown Castle	Venesia Horne (Crown Castle) MODS Project Manager - SCFS T: (470) 235-6368 M: (678) 495-7737 8000 Avalon Boulevard Suite 700 Alpharetta, GA 30009 Venesia.Horne@crowncastle.com	Fiber Optic Cable	Within project limits	N/A	No, will not be in conflict	
Verizon /MCI/XO Communication	Michael Walker Verizon/MCI/ XO communications Eng., III Spec-Ntwk & Ops Jonesboro, Ga 30238 470-304-9277 office michael.walker4@verizon.com	Fiber Optic Cable	Within project limits	N/A	No, will not be in conflict	
Marta Electric	Cedric McKitt MARTA Chief of Agreements & Utilities 2400 Piedmont Road, NE • Atlanta, Georgia 30324-3330 (404) 848-5385 (office) (404) 427-6000 (cell) cmckitt@itsmarta.com www.itsmarta.com	Fiber Optic Cable	Within project limits	N/A	No, will not be in conflict	
Zayo Fiber Solutions	Rusty Perdieu Zayo Fiber Solutions 2030 Powers Ferry Road SE Suite 360 Sandy Springs, GA 30339 rusty.perdieu@zayo.com 678-275-8288	Fiber Optic Cable	Within project limits	N/A	No, will not be in conflict	

Note: To add additional rows, click the bottom right corner of the box above, then click the blue + that will appear. Please add additional rows prior to entering text.

MS4 Concept Report



MS4 Concept Analysis Report for the City of Atlanta - Memorial Drive Corridor Improvement



August 29, 2019



**MS4 Concept Analysis Report for the
City of Atlanta –
Memorial Drive Corridor Improvement**



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- 2. Introduction**
- 3. Project Approach**
- 4. Project Statement**
- 5. Definitions**
- 6. Conclusions**
- 7. Recommendations**

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MS4 Concept Report Summary

Data

- Figures
- Tables
- Calculations
- Cross Sections

1. Executive Summary

In August 2019, SKYLINE Engineering and Construction, LLC (Skyline) has been engaged by Stantec to undertake a MS4 Concept analysis for an infrastructure project along Memorial Drive from Connally Street to Grant Street, in Atlanta, Georgia.

As of January 2012, the Environmental Protection division (EPD) of the Georgia Department of Natural Resources issued the Georgia Department of Transportation's (GDOT's) first Municipal Separate Storm Sewer System (MS4) Permit (General NPDES Permit No. GAR041000) (Permit) for discharges from its MS4 designated areas.

The Permit regulates new and existing point source discharges of stormwater from roadways owned and operated by GDOT to water of the State of Georgia. The proposed infrastructure project must meet the requirements of the Permit, which include incorporating permanent water quality control and detention measures (best management practices [BMPs]) into the design where appropriate, where those BMPs have not been determined to be infeasible based on the exclusion and infeasibility criteria identified in Section 1.2 and Section 1.4 of the GDOT Guidelines for Design of Post-Construction BMPs (GDOT Guidelines) issued June 12, 2014, and where required in accordance with the GDOT Guidelines.

Upon analyzing the Project area, SKYLINE has concluded the Project qualifies for the Project Level Exclusion No.5. This exclusion states "Road projects that disturb less than 1 acre or for site development projects that add less than 5,000 ft² of impervious area are excluded", as defined by GDOT. SKYLINE performed a preliminary MS4 analysis of the project in accordance with GDOT guidelines and criteria.

This report documents the applicable guidance and criteria, analysis performed, results and conclusions. The analysis is based on the current Concept plan for the project as presented by Stantec on 08/28/19.

2. Introduction

Stormwater that discharges from GDOT owned and operated infrastructure facilities is regulated by the Georgia Environmental Protection Division (EPD) through GDOT's Municipal Separate Storm Sewer System (MS4) National Pollution Discharge Elimination System permit. This permit requires GDOT, and subsequently their consultants, to meet specific requirements within an MS4 area. The proposed project is located within an MS4 area).

Design of the project should keep public safety as a primary concern. However, stormwater planning is important in order to protect the GDOT linear Facility, Memorial Drive, by reducing erosive damage from stormwater discharges. In addition, the proposed design should protect the surrounding environment from potentially adverse impacts (e.g., harm to receiving waters, ecosystem, and/or wildlife). Furthermore, design of the project should adhere to some key concepts in order to protect the GDOT linear Facility such as:

- Avoidance of environmentally sensitive areas
- Minimization of disturbance for the project
- Footprint reduction

Improvements to Memorial Drive, for an approximate length of 1, 595 ft, will be between Connally Street and Grant Street in Atlanta, Georgia. The site consists of 0.646 acres to be improved. The

proposed construction will consist of crosswalk relocations, construction of ADA compliant ramps and curbs, sidewalk expansions, storm drain demolition, retaining wall and fence demolition, wall repairs, curb demolition, and confirmation of existing ADA ramp compliance.

3. Project Approach

Table-top research

The Project was analyzed and researched using the following references: -

- Design Drawings (Lead Designer)
- Environmental Study (Lead Designer)
- Concept Report, Draft (Lead Designer)
- Utility Location Information (Lead Designer and GIS)
- Preliminary Field Plan Review Document (Lead Designer)
- Soil Survey (USDA/NRCS)
- Topographic Map (USDA/USGS)
- MS4 Designated Areas List (County/State)
- Downstream Analysis (Internal)
- Aerial Photographs of Roadway (depicting drainage areas)
- Milestone Plan Submittal (Check List) (GDOT or Lead Designer)
- Low Impact Development (LID)/Green Infrastructure (GI) Check List (GDOT or Lead Designer)
- Permit (Lead Designer)
- GDOT Guidelines
- Georgia Stormwater Management Manual (GSSM, 2001)
- GDOT Drainage Manual (2014)
- SCS Method (Time of Concentration Calculation, See TR-55)
- NRCS Watershed Management Lag Method, Chapter 15 of the National Engineering Handbook, part 650
 - MS4 Concept Level Design Spreadsheet (GDOT)

Site Assessment and Area Reconnaissance

The site was visited and walked by Martin Thompson and Dwayne Cheatom of SKYLINE on August 6th, 2019. The site was totally traversed to look at the existing impervious and pervious areas, the drainage and general topography of the site and with reference to the Concept plan provided by the Client.

During our site visit it was observed that there were two areas a drainage for the ROW sections. There were high points near Fort Street that sloped away in both directions. One flowed to a catchment system near the gas station and then exited the ROW in question into a drainage system along Kelly Street SW., while the other appeared to flow towards Grant Street. These had to be confirmed utilizing GIS information and City of Atlanta information. The sewer and drainage system also appeared to be a combined system which also had to be confirmed.

A general ground survey was done to determine the drainage pattern, soil type and general terrain for engineering evaluation necessary for the MS4 design.

Determine project level exclusions

Upon analyzing the Project area, SKYLINE has concluded the Project qualifies for the Project Level Exclusion No.5. This exclusion states “Road projects that disturb less than 1 acre or for site development projects that add less than 5,000 ft² of impervious area are excluded”, as defined by GDOT. SKYLINE performed a preliminary MS4 analysis of the project in accordance with GDOT guidelines and criteria.

4. Project Statement

The proposed construction will not contribute to the increased stormwater runoff from the Memorial Drive Corridor Improvement Project right-of-way (ROW). The proposed addition of the 2', 3' and 4' foot wide buffer zones serve to slightly decrease impervious areas and increase the pervious area throughout the approximately one-quarter mile (1/4) site, thus improving water quality that originates on the GDOT ROW and reducing water quantity runoff from the ROW.

5. Definitions

The definition of a MS4 outfall which includes discussion of other MS4 system points of interest that do not meet the definition of a MS4 outfall as defined in the Permit is as follows:

Project and Outfall Level Exclusion:

MS4 Concept stormwater requirements that involve the determination of items deemed applicable to project can be excluded from the project entirely if one of the “Project Level Exclusions” is met. If a project does not meet a Project Level Exclusion, specific outfall drainage areas within a project may meet an “Outfall Level Exclusion” (specific only to an area of the project). The Project Level and Outfall Level Exclusions are defined below:

Project Level Exclusions:

1. Roadways that are not owned or operated (maintained) by GDOT may not require post-construction BMPs. Coordinate with the appropriate local government or entity to determine stormwater management requirements.
2. The project location is not within a designated MS4 area.
3. Maintenance and safety improvement projects whereby the sites are not connected and disturbs less than one acre at each individual site. This includes projects such as repaving, shoulder building, fiber optic line installation, sign addition, and sound barrier installation.
4. Projects that have their environmental documents approved or ROW plans submitted for approval on or before June 30th, 2012.
5. Road projects that disturb less than 1 acre or for site development projects that add less than 5,000 ft² of impervious area.

For this project, project level exclusion 5 criteria is met.

6. Conclusions

1. Existing Impervious (20,257 sf) has been reduced by 52 sf with the new configuration of New Impervious (20,199 sf), are basically equal and,
2. There is an increase in the New Pervious (6,055 sf) vs Existing Pervious (5,783 sf), i.e. 272 sf
3. The project redistributes the buffers and this increase in pervious areas now acts as a BMP (grass filter) for most of the project. This area can be seen from the proposed layout. See Concept plans.
4. It is to be noted that the revised footprint of sidewalk and grassed areas and the existing area is approximately 26,144 sf (0.6 Acre).

7. Recommendations

This project therefore qualifies for (PLE) Project Level Exclusion No. 5 for the following reasons:

1. The disturbed area, comprising of both Construction Easement (19,523 =0.448 Acre), [which in the main will not be very much affected with grading and backfilling in certain areas] and the Constructed Area (28,144 sf =0.646 Acres) while totals to 1.048 Acre, which while it is more than one (1) Acre, however,
2. There is also a reduction in the Impervious area (272 sf) which is far less than the 5000 sf.
3. Since item 2. Is less than 5000 sf the Project qualifies for the Project Level Exclusion.

APPENDICES

MS4 Concept Report Summary

Attach the following checklist information to the Concept Report Template:

- Is there a Project Level Exclusion that applies to this project: No Yes
- If yes, please indicate which of the following exclusions apply:
- Roadways that are not owned or operated (maintained) by GDOT may not require post-construction BMPs. Coordinate with the appropriate local government or entity to determine stormwater management requirements.
 - The project location is not within a designated MS4 area.
 - Maintenance and safety improvement projects whereby the sites are not connected and disturbs less than one acre at each individual site. This includes projects such as repaving, shoulder building, fiber optic line installation, sign addition, and sound barrier installation.
 - Projects that have their environmental documents approved or right-of-way plans submitted for approval on or before June 30th, 2012.
 - Road projects that disturb less than 1 acre or for site development projects that add less than 5,000 ft² of impervious area.

If the project has a Project Level Exclusion nothing further is needed.

If the project does not have a Project Level Exclusion use the MS4 Concept Level Design Spreadsheet to estimate the treatment volumes and flow rates, size the BMP's, complete the tables below, and include as an attachment to the Concept Report. Add additional rows, if necessary. It is understood that this information will be approximate based on available information at the time of the concept.

In MS4 designated areas, water quantity requirements may be waived for drainage areas that flow directly into surface waters that have a drainage area greater than 5 square miles.

Drainage Area Summary (Within ROW)									
Outfall Area	Pre-Development			Post-Development			Water Quality Volume (Cubic Feet)	Channel Protection Volume (Cubic Feet)	Required Detention Volume (Cubic Feet)
	Tc	Weighted CN	Area (Acres)	Tc	Weighted CN	Area (Acres)			
1	5	98	0.506	5	98	0.486	N.A	N.A	N.A
2	5	89	0.120	5	89	0.159	N.A	N.A	N.A
3									

BMP Selection and Feasibility Summary						
Outfall Area	Outfall Level Exclusion?		BMP Selected	Is the BMP Feasible?		
	Y/N	Exclusion No.		Y/N	Infeasibility Criteria No.	¹ Feasibility of an Infiltration BMP
1						
2						
3						

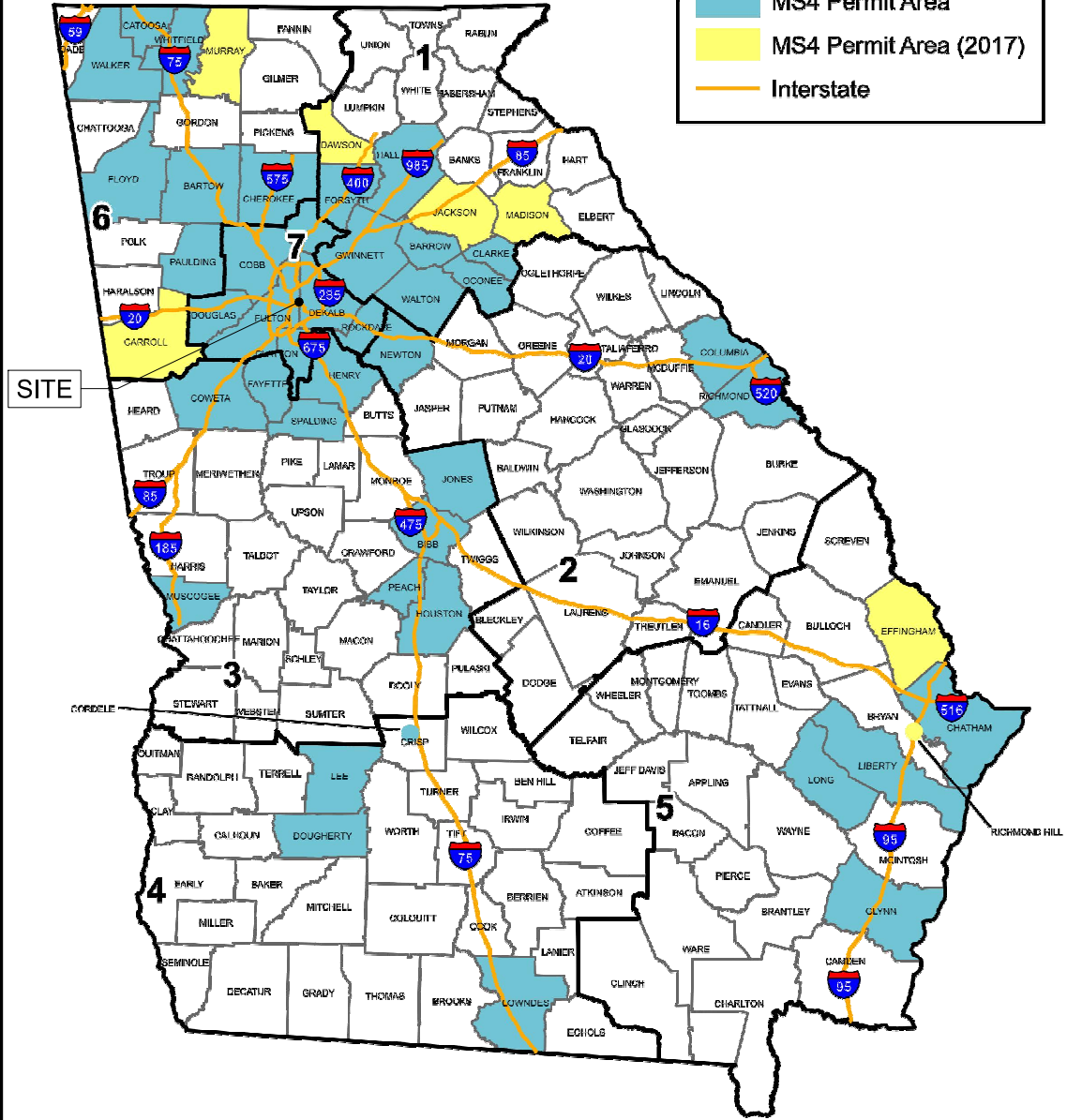
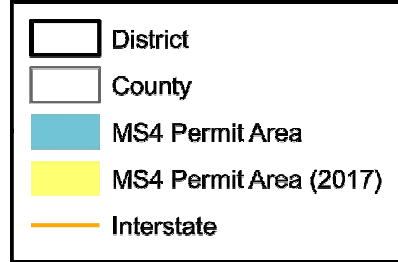
¹ - For outfall areas considering an infiltration BMP indicate if an infiltration BMP is well-suited, potentially suitable, has limited suitability, or is unsuitable for the outfall area.

In addition to the above charts, attach the Drainage Area Map, drainage basin summary spreadsheets, and cost estimates (if required) to the Concept Report. For outfall areas considering an infiltration BMP, attach Worksheet J-1. See Appendix J of the GDOT Drainage Design for Highways Manual (Drainage Manual).

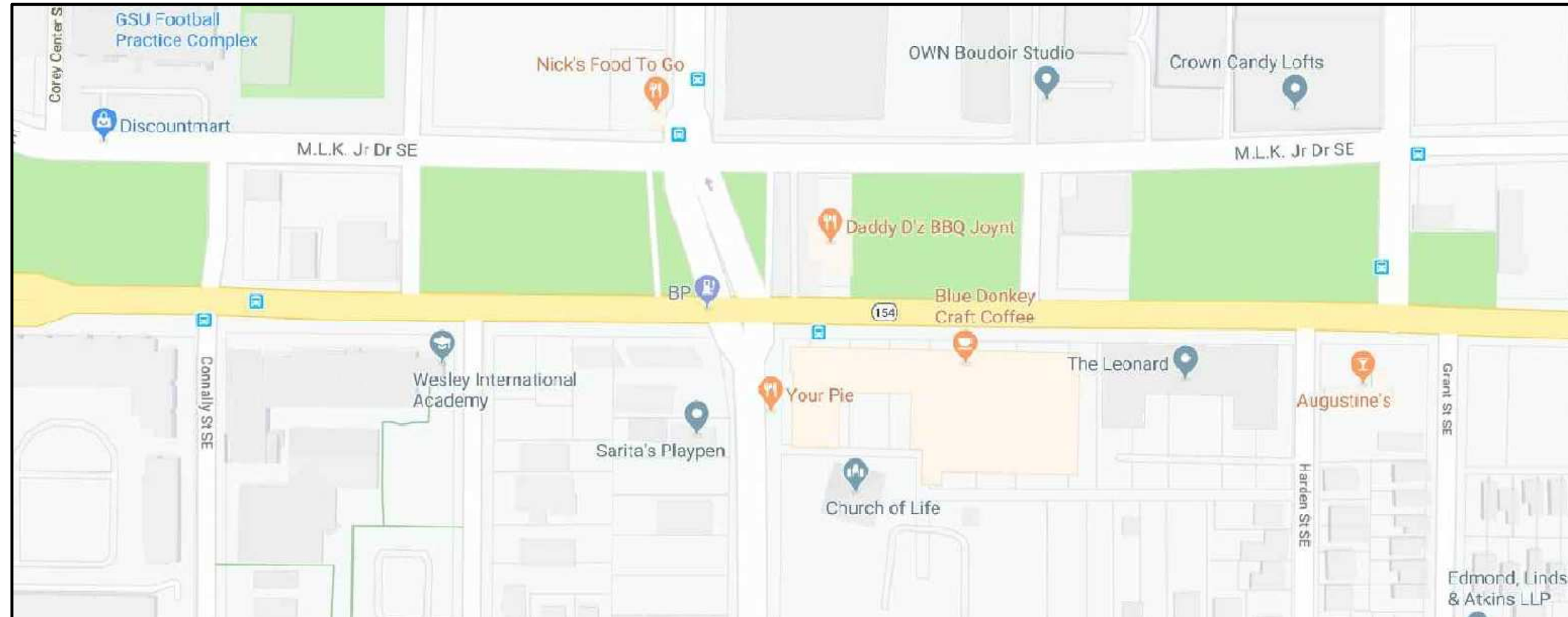
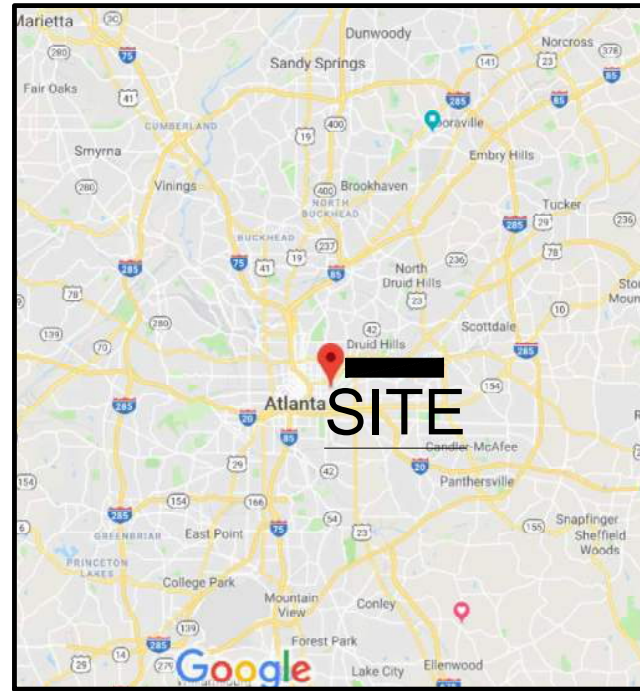
DATA

1. GA MS4 Designated Areas
2. Project Location Plan
3. Site Plan
4. A & B Section 1 & 2 - EXISTING – Impervious & Pervious Areas
5. A & B Section 1 & 2 - PROPOSED – Impervious & Pervious Areas
6. Calculations - EXISTING AND PROPOSED – Impervious & Pervious Areas
7. Cross sections
8. Drainage Areas
9. Intrenchment Creek Map
10. Soil Survey Map

GEORGIA'S MS4 AREAS



MS4 PERMITTED
AREA MAP



SITE / LOCATION PLAN



REVISIONS BY

SKYLINE
ENGINEERING & CONSTRUCTION
P: 888.706.0861 F: 770.217.7530 www.skyline-ec.com

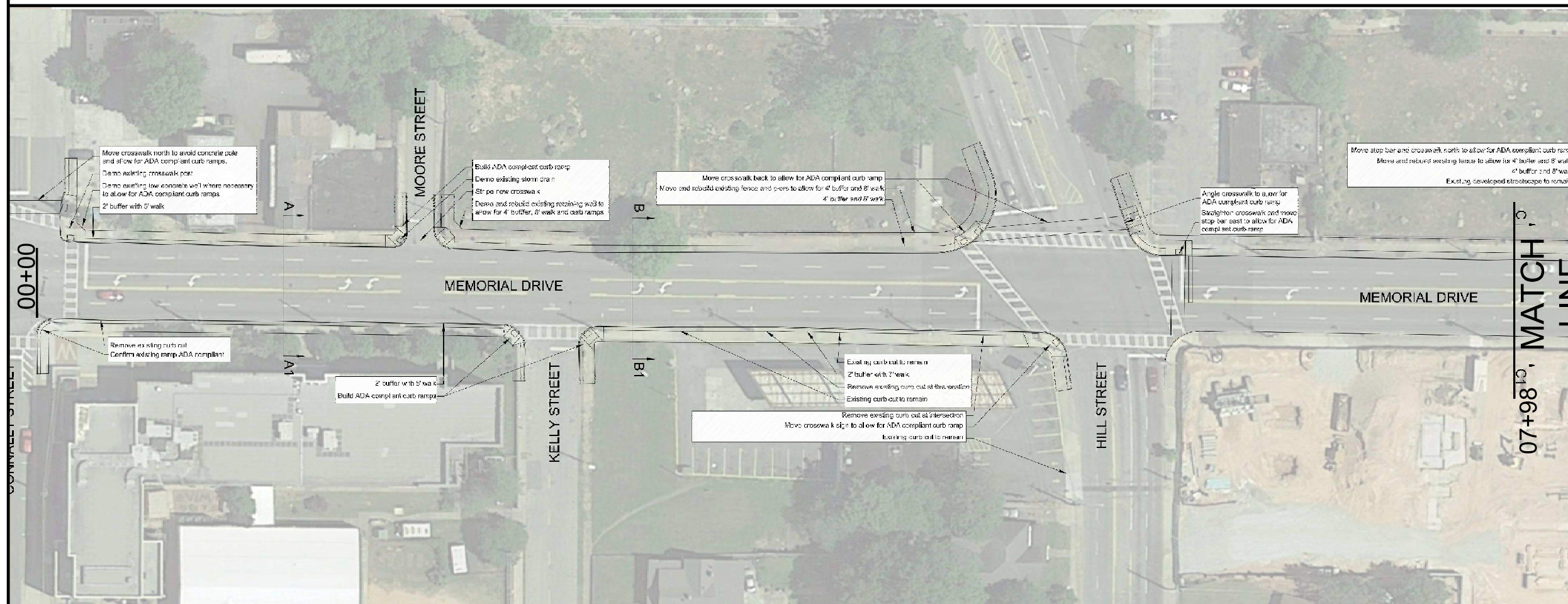
ATLANTA, GEORGIA

MEMORIAL DRIVE IMPROVEMENTS

DATE:
SCALE:
NOT DRAWN TO SCALE
JOB:
6-1711-06
DRAWING NUMBER
2 OF 12
SHEET

2

MEMORIAL DRIVE PROJECT LIMITS



SITE CONCEPT PLAN SECTION 1



REVISIONS BY

SKYLINE
ENGINEERING & CONSTRUCTION
P. 888.706.0061 F. 770.217.7530 www.skyline-ec.com

ATLANTA, GEORGIA

MEMORIAL DRIVE
IMPROVEMENTS

DATE:
SCALE:
NOT DRAWN TO SCALE
JOB:
6-1711-06
DRAWING NUMBER
3 OF 12
SHEET
3A

MEMORIAL DRIVE PROJECT LIMITS

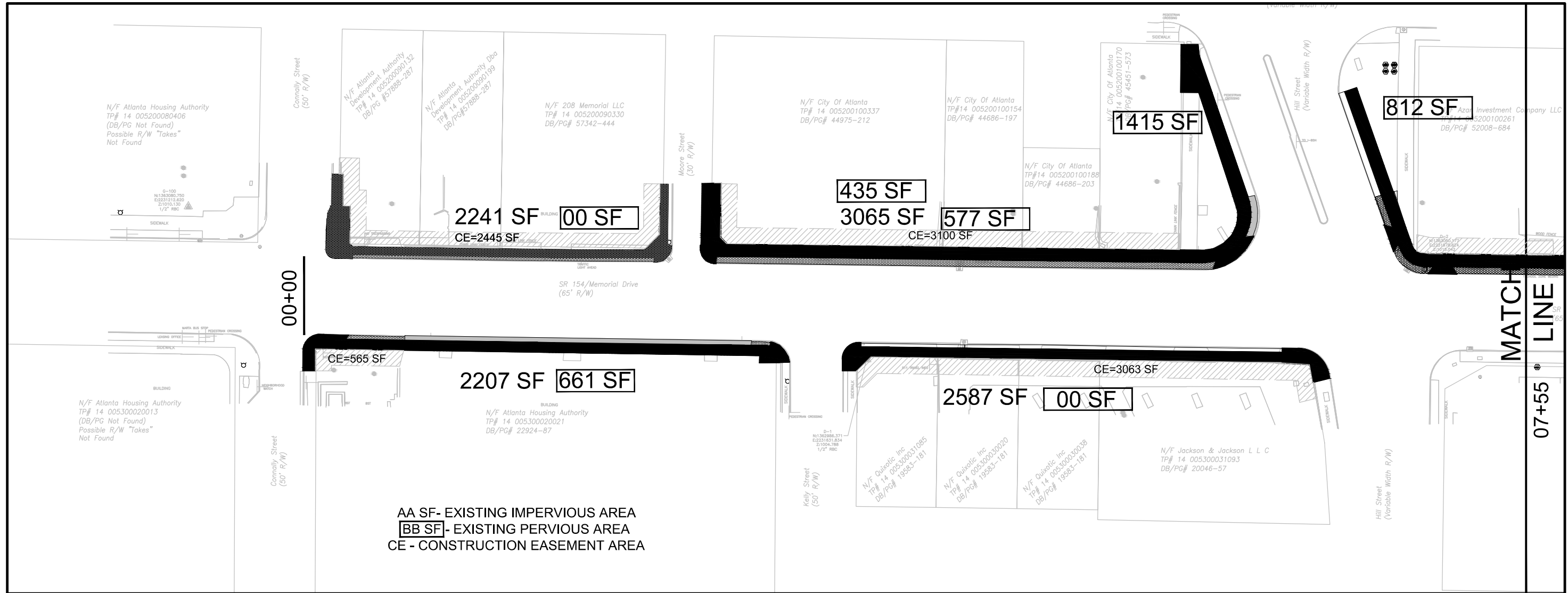


SITE CONCEPT PLAN SECTION 2



DATE:	
SCALE:	NOT DRAWN TO SCALE
JOB:	15-1711-06
DRAWING NUMBER:	4 OF 12
SHEET:	3B
REVISIONS BY:	
 SKYLINE ENGINEERING & CONSTRUCTION P. 888.706.0661 F. 770.217.7530 www.skyline-ec.com	
ATLANTA, GEORGIA	
MEMORIAL DRIVE IMPROVEMENTS	

MEMORIAL DRIVE PROJECT LIMITS



EXISTING IMPERVIOUS AND PERVIOUS AREAS SECTION 1



REVISIONS BY

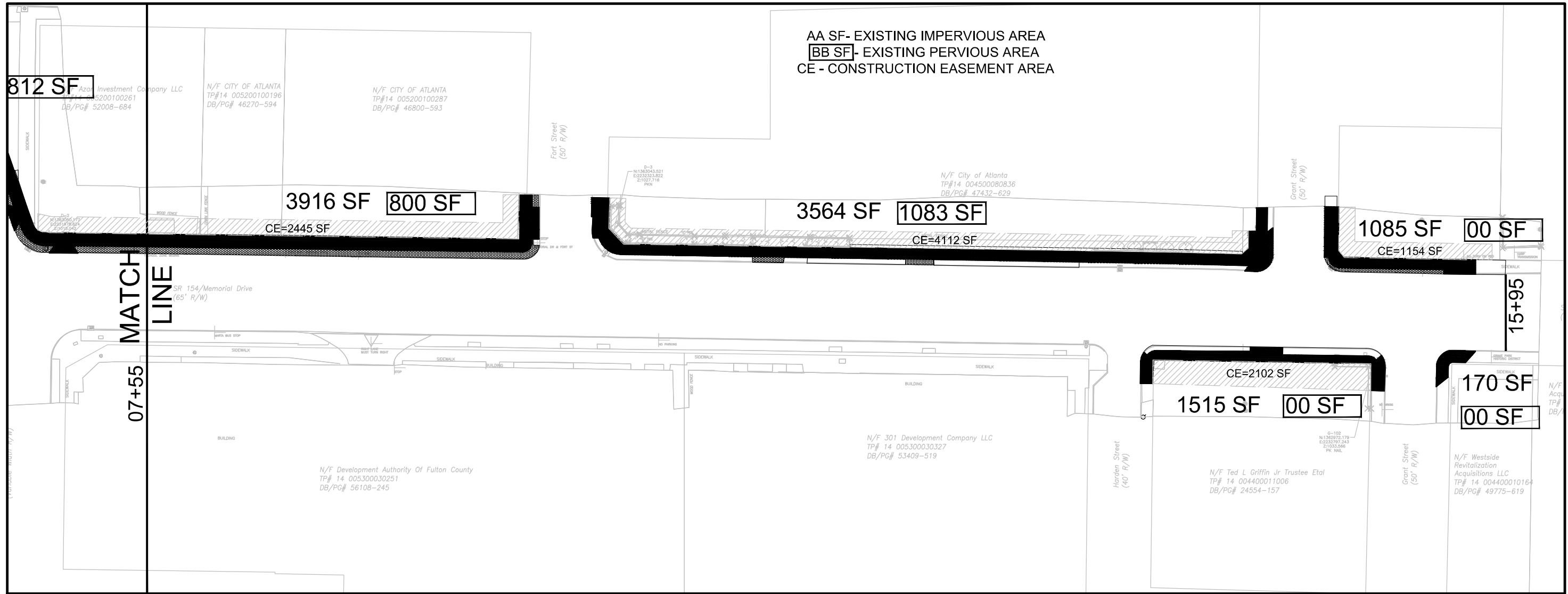
SKYLINE
 ENGINEERING & CONSTRUCTION
 P.888.706.0661 F.770.217.7530 www.skyline-ec.com

ATLANTA, GEORGIA

MEMORIAL DRIVE IMPROVEMENTS

DATE: 08/26/2019
 SCALE: NOT DRAWN TO SCALE
 JOB: 1711.06
 DRAWING NUMBER: 5 OF 12
 SHEET: 4A

MEMORIAL DRIVE PROJECT LIMITS



EXISTING IMPERVIOUS AND PERVIOUS AREAS SECTION 2



REVISIONS BY

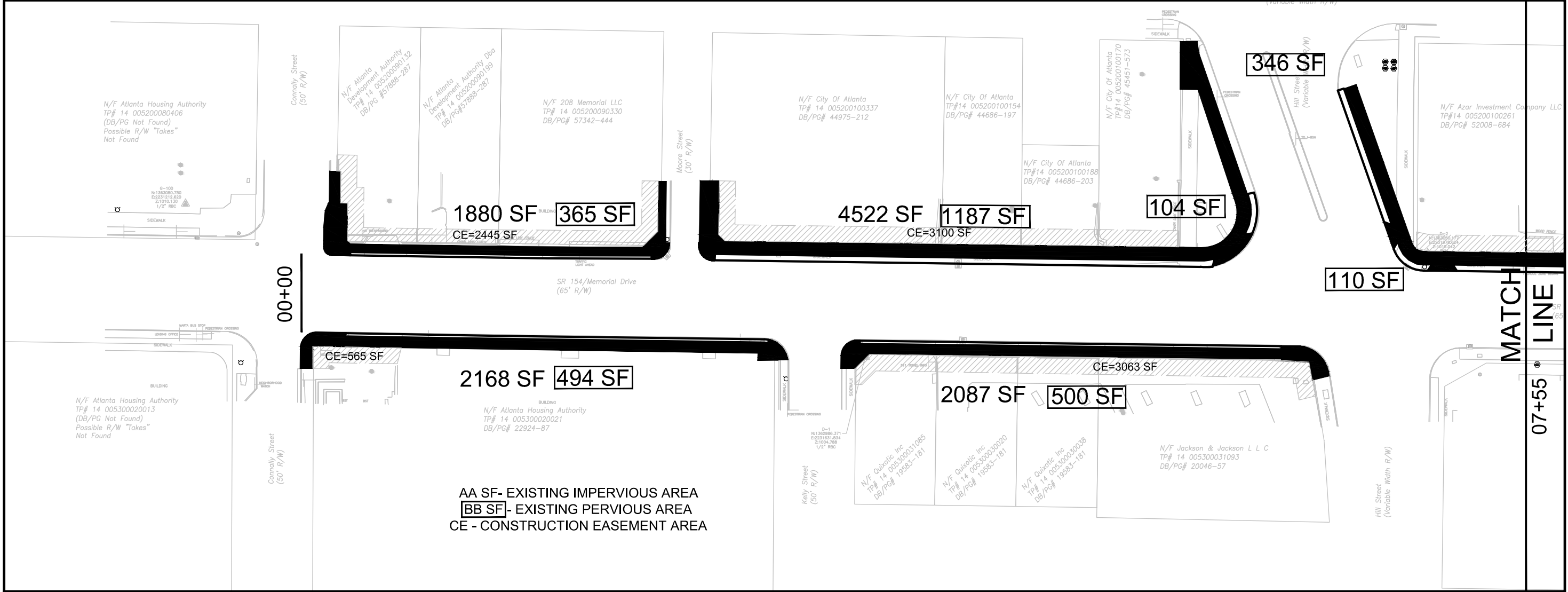
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MEMORIAL DRIVE IMPROVEMENTS

DATE:
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JOB:
6-1711-06
DRAWING NUMBER
6 OF 12
SHEET
4B

MEMORIAL DRIVE PROJECT LIMITS



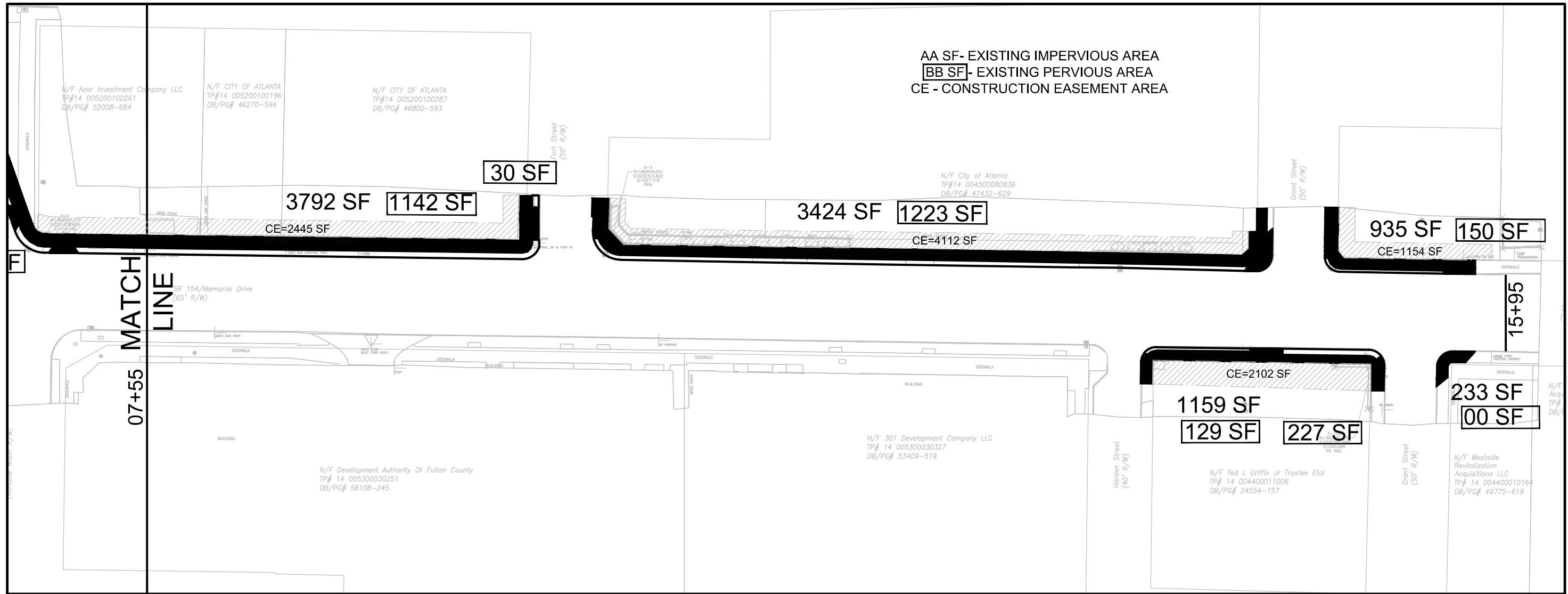
AA SF- EXISTING IMPERVIOUS AREA
 BB SF- EXISTING PERVIOUS AREA
 CE - CONSTRUCTION EASEMENT AREA

PROPOSED- CONCEPT PLAN IMPERVIOUS AND PERVIOUS AREAS SECTION 1



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DRAWING NUMBER:	7 OF 12
SHEET:	5A

MEMORIAL DRIVE PROJECT LIMITS



EXISTING IMPERVIOUS AND PERVIOUS AREAS SECTION 2



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MEMORIAL DRIVE IMPROVEMENTS

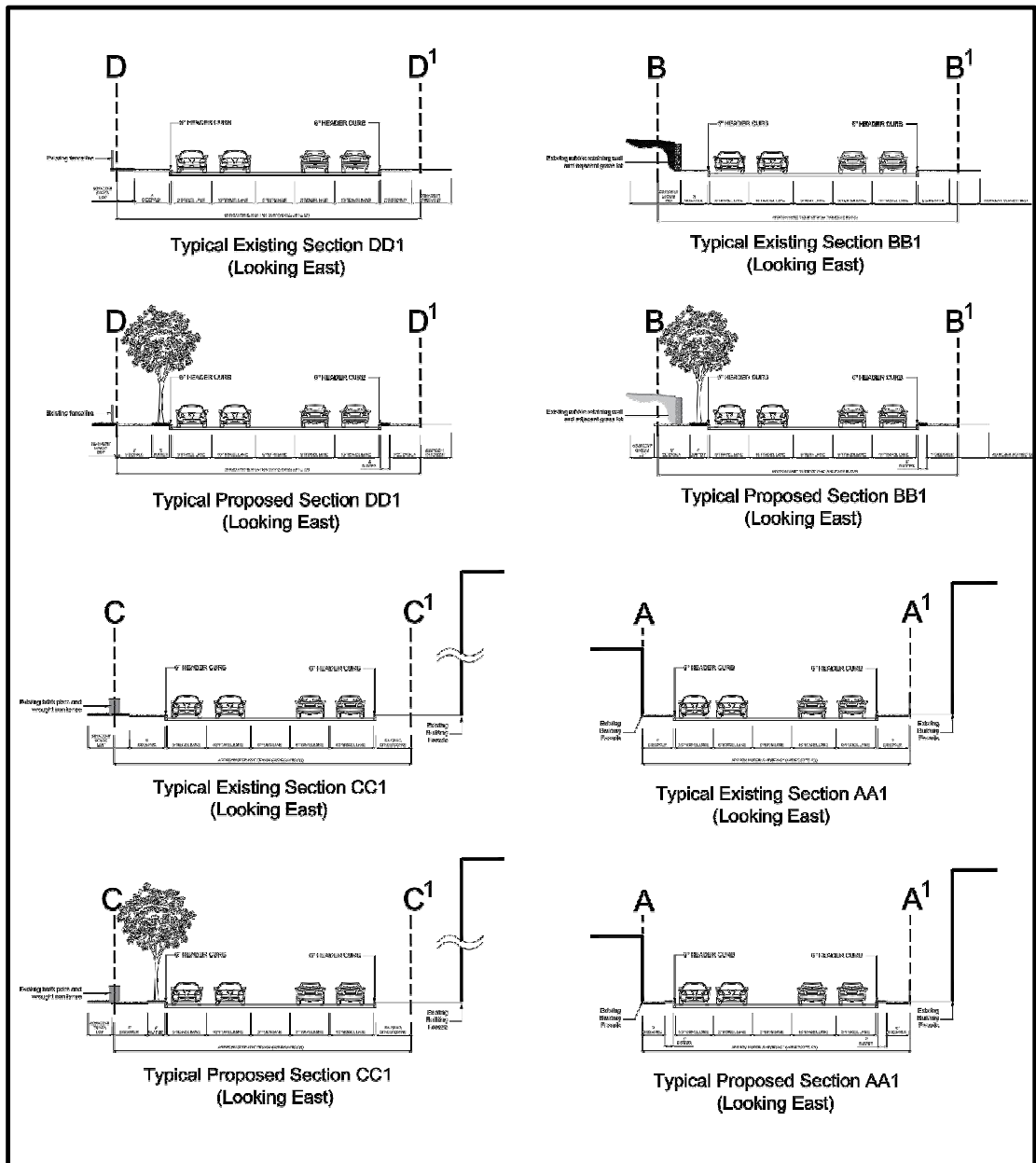
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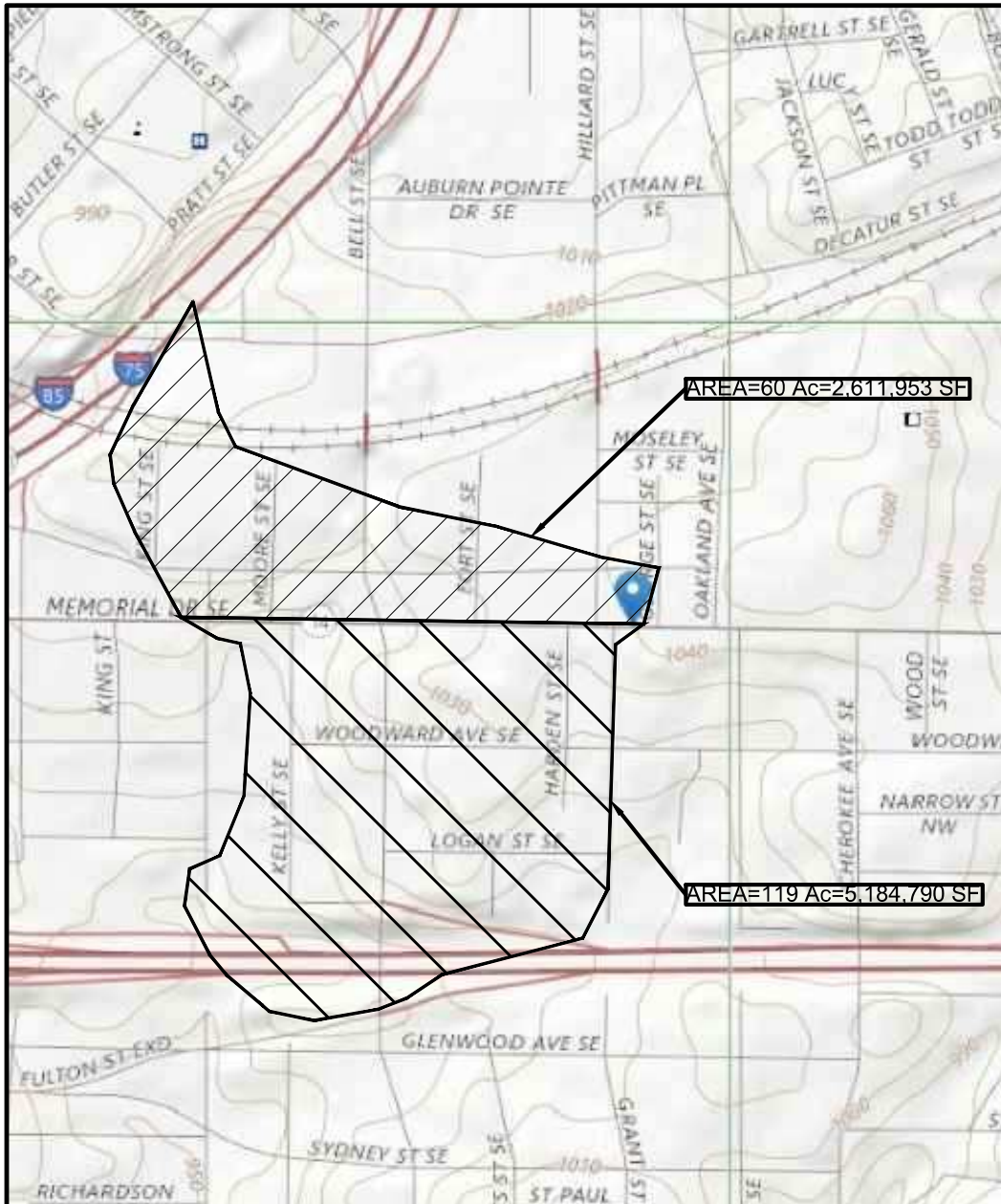
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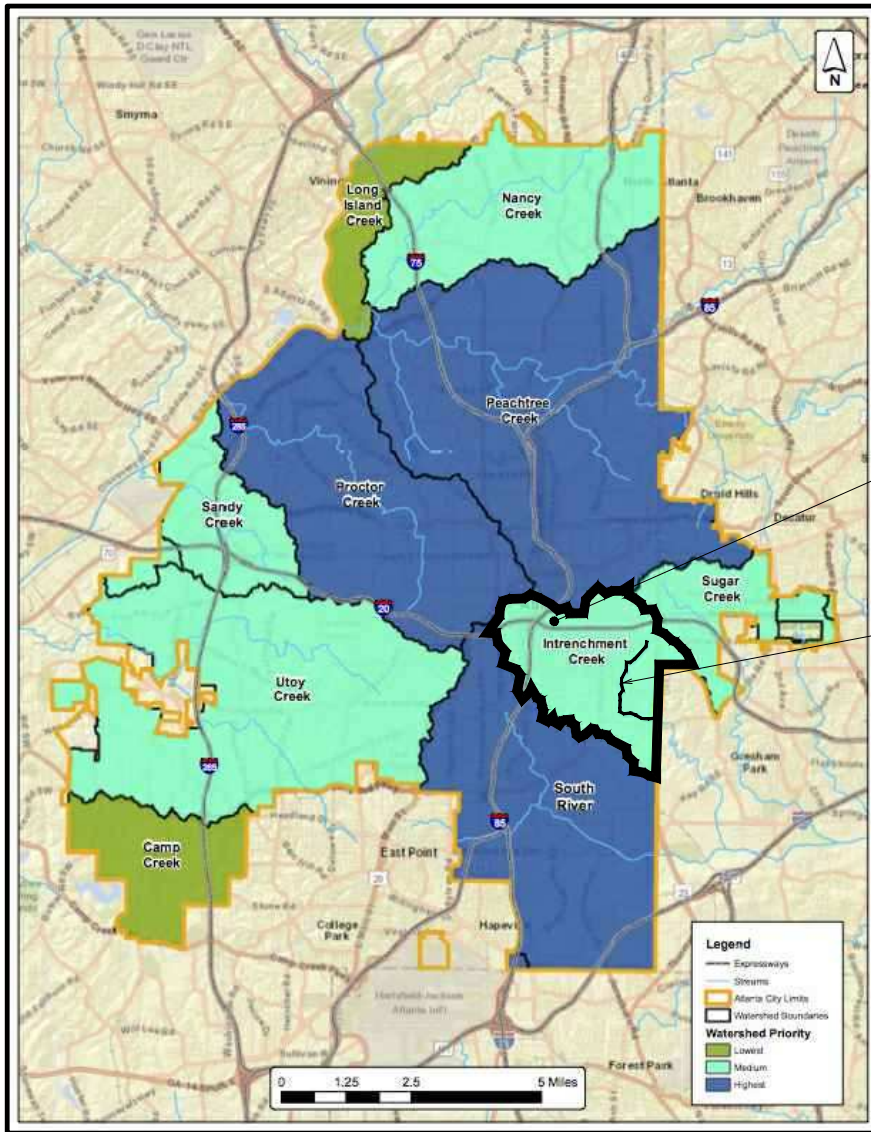
SITE CONCEPT CROSS SECTIONS



SITE UPSTREAM AND DOWNSTREAM DRAINAGE S MAP



ATLANTA AREA CREEK MAP

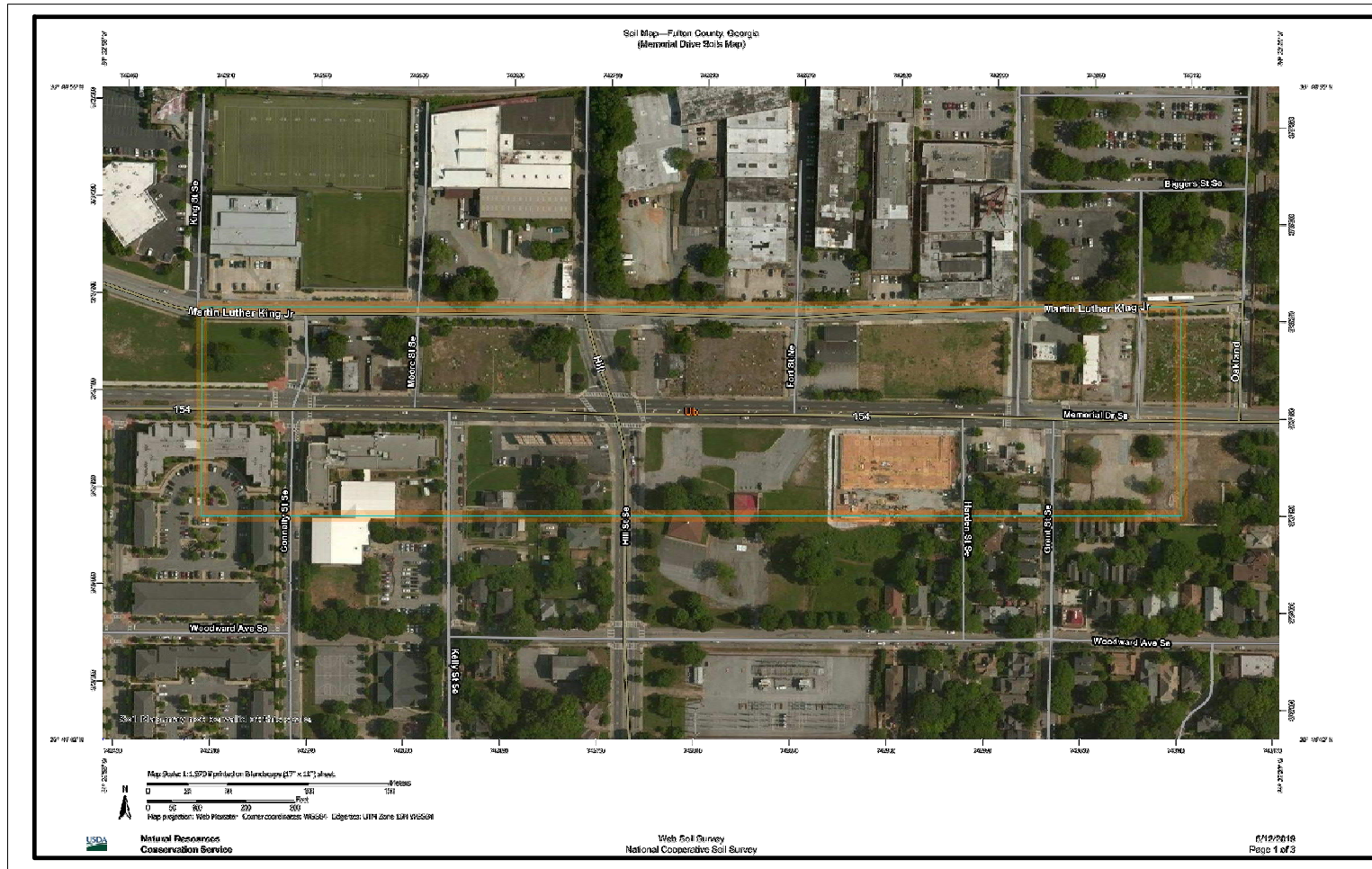


SITE LOCATION

INTR TRENCHMENT CREEK



FULTON COUNTY SOILS SURVEY MAP & INFORMATION



Soil Map—Fulton County, Georgia
(Memorial Drive Soils Map)

MAP LEGEND

- Area of Interest (AOI)**
 - Area of Interest (AOI)
- Soils**
 - Soil Map Unit Polygons
 - Soil Map Unit Lines
 - Soil Map Unit Points
- Special Point Features**
 - Blotspot
 - Borrow Pit
 - Clay Spot
 - Closed Depression
 - Gravel Pit
 - Gully Spot
 - Landfill
 - Lava Flow
 - Marsh or swamp
 - Mine or Quarry
 - Miscellaneous Water
 - Paranatal Water
 - Rock Outcrop
 - Saline Spot
 - Sandy Spot
 - Severely Eroded Spot
 - Sinkhole
 - Slide or Slip
 - Sodic Spot
- Water Features**
 - Spill Area
 - Stony Spot
 - Very Stony Spot
 - Wet Spot
 - Other
 - Special Line Features
- Transportation**
 - Streets and Canals
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background**
 - Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Fulton County, Georgia
Survey Area Data: Version 13, Sep 13, 2018

Soil map units are belined (see space allowed) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 4, 2014—May 13, 2014

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Natural Resources Conservation Service

Web Soil Survey
National Cooperative Soil Survey

8/12/2019
Page 2 of 3

Soil Map—Fulton County, Georgia

Memorial Drive Soils Map

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Ub	Urban land	19.5	100.0%
Totals for Area of Interest		19.5	100.0%



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IMPROVEMENTS

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DRAWING NUMBER
12 OF 12
SHEET
10

Conceptual Design | Feasibility Analysis | Due Diligence | Civil Engineering | Permitting | Environmental Assessment | Building Condition Assessment | Construction Services | Construction Management | Program Management | Project Management | Quality Assurance & Quality Control | Building & Site Investigation



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MEETING SUMMARY

Date: October 15, 2019

Project: PI No: 0007952, Fulton County Memorial Drive Corridor Improvements

Meeting Date: 10/15/2019

Purpose: Concept Team Meeting

Location: GDOT District 7 Chamblee Office – Amphitheater

Time: 10:30AM

Prepared by the City of Atlanta

ATTENDEES

Name	Office	Role of Project
Parisa Noferest	GDOT/OPD/Gresham Smith	Project Manager
Heidi Schneider	OPD/Gresham	Review
Ted Hicks	GDOT Planning	Review
Tamaya Huff	City of Atlanta	Project Manager
Pietro DeSpirit	GDOT Utilities	D7 Utilities Consultant
Gene McKissick	GDOT Utilities	D7 Utilities Consultant
Adam Carducci	GDOT Utilities	D7 Utilities Consultant
Justin Hatch	GDOT District 7	D7 Traffic Operations
Martin Thompson	Skyline Engineering and Construction	MS4 Subconsultant
Paul DeNard	GDOT District 7	District Preconstruction Engineer
Jessica Kern	GDOT/NEPA (phone)	NEPA
Jill Brown	Edward Pitman (phone)	NEPA/Subconsultant
Prashanth Vaddu	MC Squared (phone)	Environmental/Subconsultant
Mitchell Greenway	Stantec	Prime Consultant
Donna Loyd	Stantec	Prime Consultant
Stephen Hopper	Stantec	Prime Consultant
Mark Sweeney	Stantec	Prime Consultant

The following items were discussed;

The GDOT Project Manager opened the meeting with introductions and project background. The City of Atlanta's Consultant Designer, Stantec then gave a presentation on the project concept.

I. Project Limits & Description:

Improvements to ADA ramps, and installation of wider sidewalks, where feasible on the north and south side of SR 154 Memorial Drive from Connally Street to Grant Street. Existing curb is to remain where possible, and a planting strip will be installed between the new sidewalks and curb for added separation.

II. Project Justification

The project was originally programmed in the Atlanta Regional Commission's Transportation Plan as a federal earmark, during the 4th Quarter of 2010 (Envision 6) under SAFETEA-LU to support pedestrian safety.

The project location on SR 154 Memorial Drive from Connally Street to Grant Street is within the designated limits specified by the federal earmark. These limits span along SR 154 Memorial Drive from I-75/I85 to SR 155 Candler Road.

A study completed by the Georgia Department of Transportation (GDOT) in 2017 identified Hill Street and Memorial Drive, as a high crash intersection. The preferred alternative was chosen to address pedestrian safety needs at a high crash intersection, upgrade American Disability Act (ADA) ramps, and provides adequate buffer between oncoming traffic and the walking public.

Proposed improvements are intended to support pedestrian access to existing residential spaces,

schools, and MARTA (21 Route) along SR 154 Memorial Drive. At present, sidewalk exists within the project area, but requires maintenance and replacement due to the presence of cracked or spalled concrete, alligator cracking, and vertically displaced joints. Other locations exhibit obstructions, walls, and impedances that reduce sidewalk widths, and provide limited separation between pedestrians and oncoming traffic.

III. Project Termini

Begin Project is the east side of Connally St at Memorial Drive. End Project is the west side of Grant St. at SR 154 Memorial Drive.

IV. Planning Concept/Conforming Plan's Project Description and Network Schematic showing through lanes/STIP project definition

This project is exempt from Air Quality Analysis per 40 CFR 93.

V. Existing Typical Sections

Existing typical section consists of five (5) lanes (two thru lanes in each direction with a two-way left-turn lane) within a 65' right of way.

A subsequent check of the survey shows a face of curb to face of curb distance of 47 feet.

VI. Existing Structures

There are no bridges within the limits of this project. A 7' retaining wall is located on the north side of SR 154 Memorial Drive west of the Hill Street intersection and east of Moore Street.

VII. Existing Utilities & Railroads*

There are no railroads within the project limits.

Existing Utilities include:

- 1) Atlanta Gas Light
- 2) AT&T/D Telecom
- 3) AT&T/T Telecom
- 4) CenturyLink Telecom
- 5) City of Atlanta Sewer
- 6) City of Atlanta Water
- 7) Comcast Telecom (confirmed)
- 8) Crown Castle NG Networks, Inc. Telecom
- 9) GDOT Fiber (Hub H)
- 10) Georgia Power
- 11) Georgia Power Transmission
- 12) Google Fiber, Inc. Telecom
- 13) MARTA Electric
- 14) Verizon Business (MCI Facilities) Telecom
- 15) Zayo Fiber Solutions Telecom

***Existing Utilities are currently being verified. Final list is anticipated to be included in final Concept.**

VIII. Existing Right of Way

Existing Right of Way is 65’.

IX. Project Schedule

Milestone	Completion Date
Concept Team Meeting	October 15, 2019
Concept Approval	December 20, 2019
Preliminary Field Plan Review	December 2, 2020
PIOH	June 29 ,2020
Environmental Certification (ROW Auth)	March 21, 2021
Final Field Plan Review	December 20, 2021
ROW Acquisition	February 7, 2022
Environmental Certification Construction	February 25, 2022
Utility Certification Construction	February 25, 2022
ROW Certification	February 25, 2022
CST Authorization	March 25, 2022
Project Advertisement	April 15, 2022
Let Contract	May 16, 2022

X. Existing environmental resources

- Streetcar remains are present in the roadway and a special provision for monitoring during construction would be required if ground disturbance was anticipated.
- Community resources within the project limits include:
 - o Wesley International Academy
 - o BP Food Mart
 - o Mixed Use Retail
 - o COA Properties currently managed by the COA Parks Department.
- One (1) additional archeological resource was identified and recommended as not eligible; SHPO concurrence required.
- The existing retaining wall from Moore Street extending east to Hill Street is not a historic structure and is recommended as not eligible.

XI. Major Stakeholders

- City of Atlanta
- Georgia Department of Transportation
- Nearby Business Owners & Residents
- Wesley International School (Atlanta Public Schools)
- Atlanta Housing Authority (AHA)
- Park Pride

XII. Other Projects in Area

- City of Atlanta Locally Funded Sidewalk Improvements
- Dahlgren Street to Lamon Street
 - Wyman Street to Clay Street
 - Douglas Street to Watson Street
 - 2nd Avenue to 4th Avenue

GDOT improvements:

M006016 I-20 from CS 2430/Windsor St to W of CR 5154/Columbia Dr

XIII. Alternatives Discussion

- Preferred – SR 154 Memorial Drive Sidewalks from Connally Street to Grant Street (Build)

- No Build – No improvements at project location.

XIV. Proposed Project Description – Preferred Alternative

The scope of work will consist of improvements to ramps and installation of sidewalk on the north and south side of SR 154 Memorial Drive from Connally Street to Grant Street. Existing curb is to remain where possible, and a planting strip would be installed between the new sidewalks and the curb for added separation between the pedestrian and oncoming traffic.

XV. Functional Classification

This road is classified as a Minor Arterial (Urban).

XVI. Design Criteria

- Existing drainage system will remain. Some drainage structures may need to be replaced and/or adjusted if any conflicts with proposed ADA ramps.
- Coordination with utilities is required to determine final extent of drainage improvements required to support project.
- Crosswalk orientation was discussed and must extend from one ADA ramp to the other;
- Stop bars will not be removed as part of this project.
- GDOT is requiring all crosswalks to be restriped regardless of existing pavement condition if they do not align with the ADA ramps.

XVII. Design Variance/Exceptions

- A lateral Offset to Obstruction Design Variance is required.

XVIII. Utility Involvement/Railroads*

- There are no railroads within the project limits.
- SUE will not be part of this project.
- There are existing utilities within the project footprint, both above and underground.
- For above ground utilities, sufficient utility coordination is required to determine the extent utilities can be relocated.
- The following utilities have reported either no facilities or no anticipated conflicts:
 - i. Atlanta Gas Light
 - ii. AT&T/D Telecom
 - iii. AT&T/T Telecom
 - iv. CenturyLink Telecom
 - v. Comcast Telecom
 - vi. Crown Castle NG Networks, Inc. Telecom
 - vii. DeKalb County Sewer
 - viii. GA Transmission Corp Electric
 - ix. Georgia Power Telecom
 - x. Google Fiber, Inc Telecom
 - xi. Interstate Fibernet
 - xii. Lamberts Cable Splicing
 - xiii. MARTA Electric
 - xiv. Southern Telecom
 - xv. Verizon Business (MCI Facilities) Telecom
 - xvi. Uniti Fiber
 - xvii. Zayo Fiber Solutions Telecom
- The following utilities are confirmed in the area but require additional coordination:
 - i. City of Atlanta Sewer

- ii. City of Atlanta Water
- iii. GDOT Fiber (Hub H)
- iv. Georgia Power
- v. Georgia Power Transmission

*Utility involvement is still being verified. Final list is anticipated to be included with final concept.

XIX. Public Stakeholder Involvement

A PIOH will be held for this project.

XX. Environmental Data (Status)

- No ecological resources were identified.
- There are 11 historic resources and one (1) archaeological site recommended.
- Environmental field work is complete for history, ecology, and archaeology.
- The NEPA document is anticipated to be a programmatic categorical exclusion (PCE) pending no driveway closures are required.
- City is reviewing the Phase I Environmental Site Assessment prior to submission to GDOT.
- No Air Noise impacts are anticipated
- **Environmental Tasks Completed to date:**

Task Completed to Date	Date Started	Date Completed
Environmental Study	June 11, 2019	June 14, 2019
Ecology Field Visit	June 7, 2019	June 20, 2019
History Field Survey	July 10, 2019	July 11, 2019
Archaeology Field Survey	July 10, 2019	July 11, 2019

XXI. Underground Storage Tanks

Of the two sites initially identified, two are considered REC

- BP Food Mart
- Memorial Drive Greenway Project

XXII. Hazardous Wastes

- One (1) site is considered a HREC: Kelley’s Clutch Services.

XXIII. Project Budgetary Constraints

- Preliminary Engineering 2013 \$437,500
- Right of Way 2021 \$174,800
- CST 2022 \$1,309,219

XXIV. Comments from Attendees Following Presentation

- **Typical Sections**
 - 1) Typical sections to be checked regarding existing condition dimensions.
 - 2) Typical section ‘C’ – relocate existing brick piers (recommended by GDOT consultant)
 - 3) Typical section ‘D’ – relocate existing fence (recommended by GDOT consultant)
 - 4) Typical sections B, C and D – remove proposed trees (required by GDOT D7)
- **Utilities**
 - 1) GDOT District 7 Utilities stated that all shut off valves within proposed sidewalk be relocated out of the sidewalk. This will require further coordination with GDOT.
 - 2) GDOT D7 Utility stated Subsurface Utility Engineering is not typically required for sidewalk improvements.

- 3) An explanation will be added to the Concept Report saying, “due to the fact that this is a sidewalk project and excavation is expected to be minimal, SUE is not anticipated”.
- **Design Criteria**
 - 1) COA PM requested pavement condition data, and a maintenance schedule to determine costs for striping.
 - 2) COA PM stated lighting & landscaping will not be part of the current scope at this time
 - 3) Concern was expressed by City that adding striping on substandard pavement, could reduce the shelf life of the striping and require replacement sooner than planned.
 - 4) GDOT District 7 stated temporary striping may be considered if future programmed maintenance on the corridor is planned following installation of the crosswalks.
 - **Design Variance**
 - 1) The COA PM requested utility coordination be at sufficient stage, to inform any submittals for any lateral offset to obstruction design variances that may be required.
 - 2) GDOT District Preconstruction Engineer stated that even though relocation may occur, the minimum clear zone requirement is still anticipated to not be met. Therefore, the Lateral Offset to Obstruction Design Variances is needed.
 - **Environmental**
 - 1) COA PM stated the preference is to proceed as a programmatic categorical exclusion pending no driveway closure. It has been determined that the project may qualify for PCE since there are no access changes anticipated.
 - 2) GDOT NEPA & Edwards Pittman Consultant concurred that the document is anticipated to be a programmatic categorical exclusion pending no driveway closures.
 - 3) Per COA PM, Environmental Phase I Site Assessment is currently under City review. Comments will be issued to GDOT and Stantec for further discussion by the week of October 21st.
 - 4) GDOT NEPA stated a de minimis determination may be needed if any right of way or easement is required from existing or planned publicly owned parks.
 - **Public Involvement**
 - 1) GDOT D7 Preconstruction Engineer required Public Information Open House (PIOH) for this project.
 - **Concept Layout**
 - 1) GDOT PM requested the layout be revised to show the required ROW. Stantec to revise.
 - 2) GDOT PM mentioned the current layout show sidewalk outside the existing ROW. Are there existing easements? Stantec to verify
 - 3) GDOT PM stated current layout does not show where to replace the strain poles. Stantec to verify as part of utility coordination.