



Livable Communities Coalition

**Georgia Department of
Transportation Committee of the
Whole**

August 15, 2007

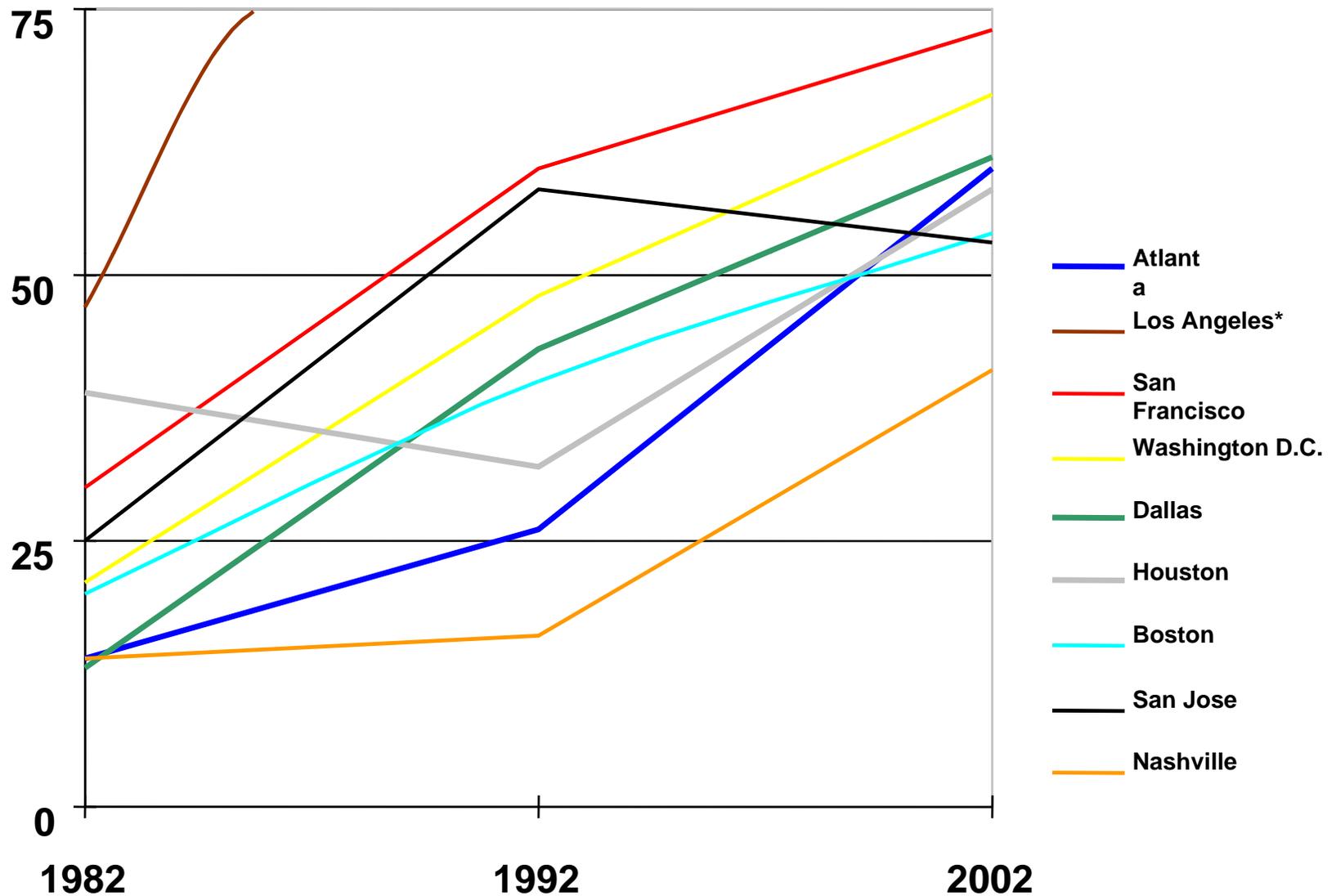
Metro Atlanta Quality Growth Task Force

Public-Private Task Force convened 2003 to:

- **Identify a set of key growth strategies to successfully accommodate the next 2.3M people to be added by 2030**
- **Recommend the policies and actions necessary to achieve these key strategies**
- **Marshal business, public and political support for implementation**

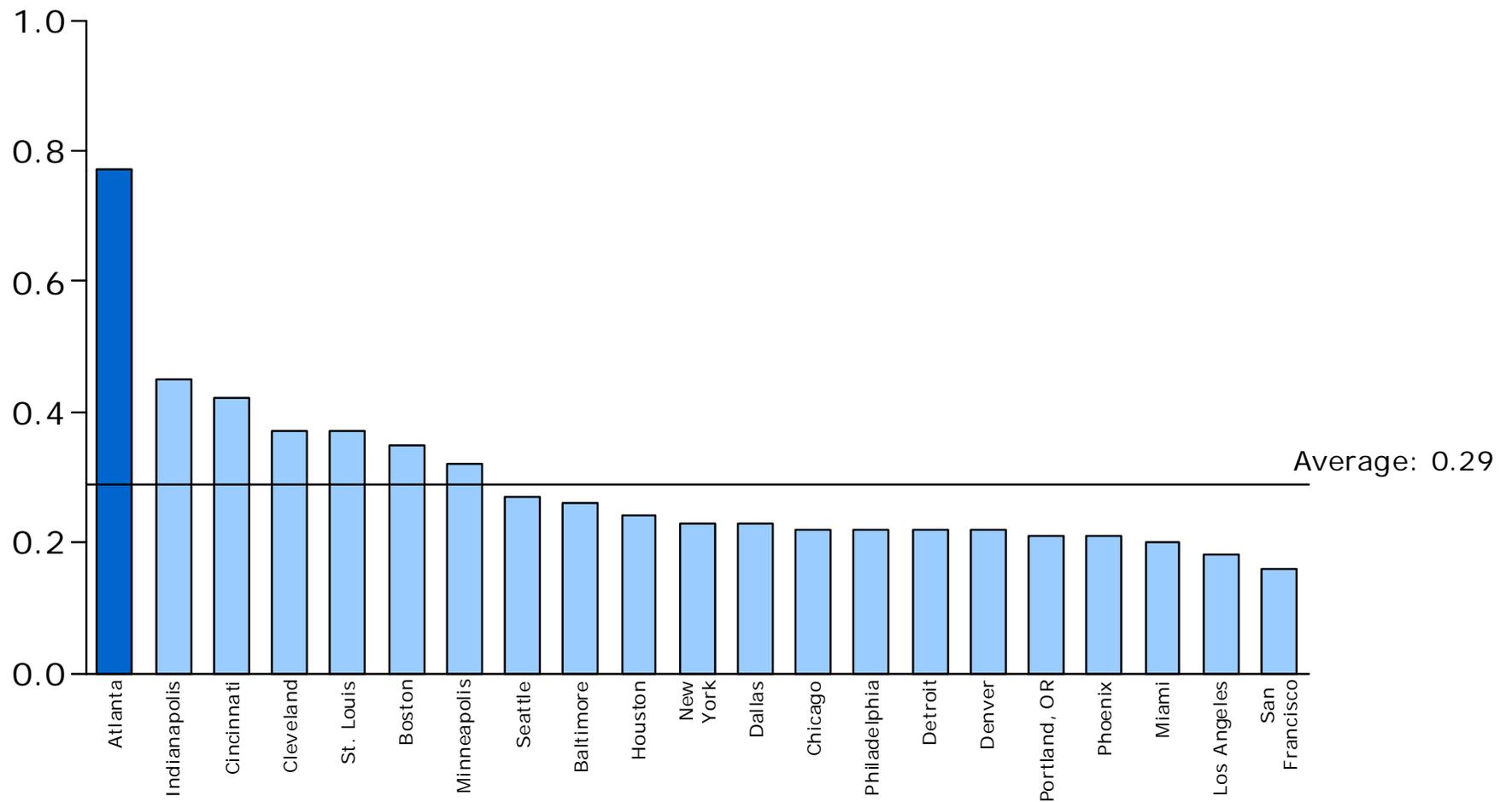
Benchmarking the Atlanta Region

Annual hours of delay per capita



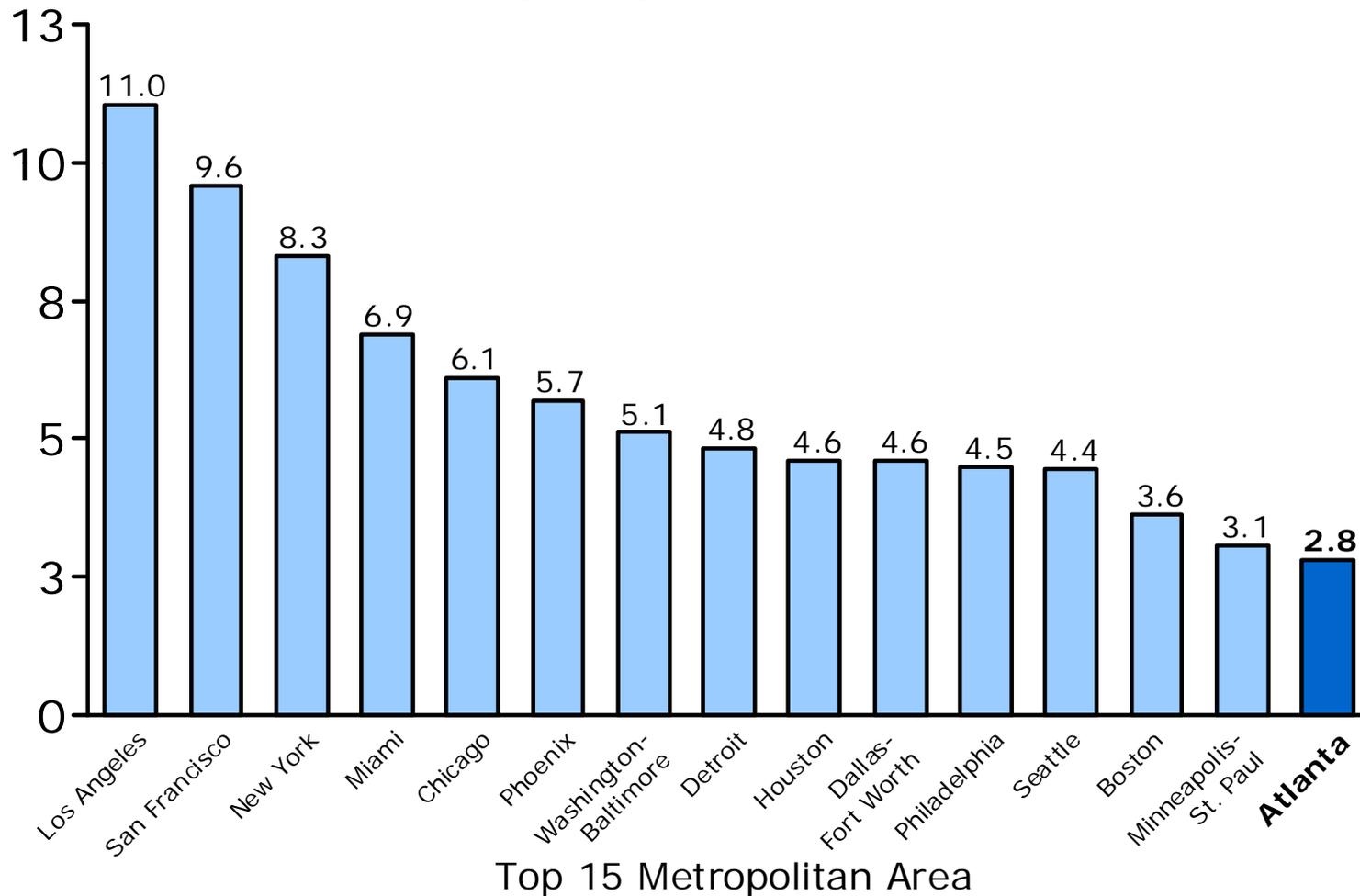
Benchmarking the Atlanta Region

Median lot size (acres) within Region



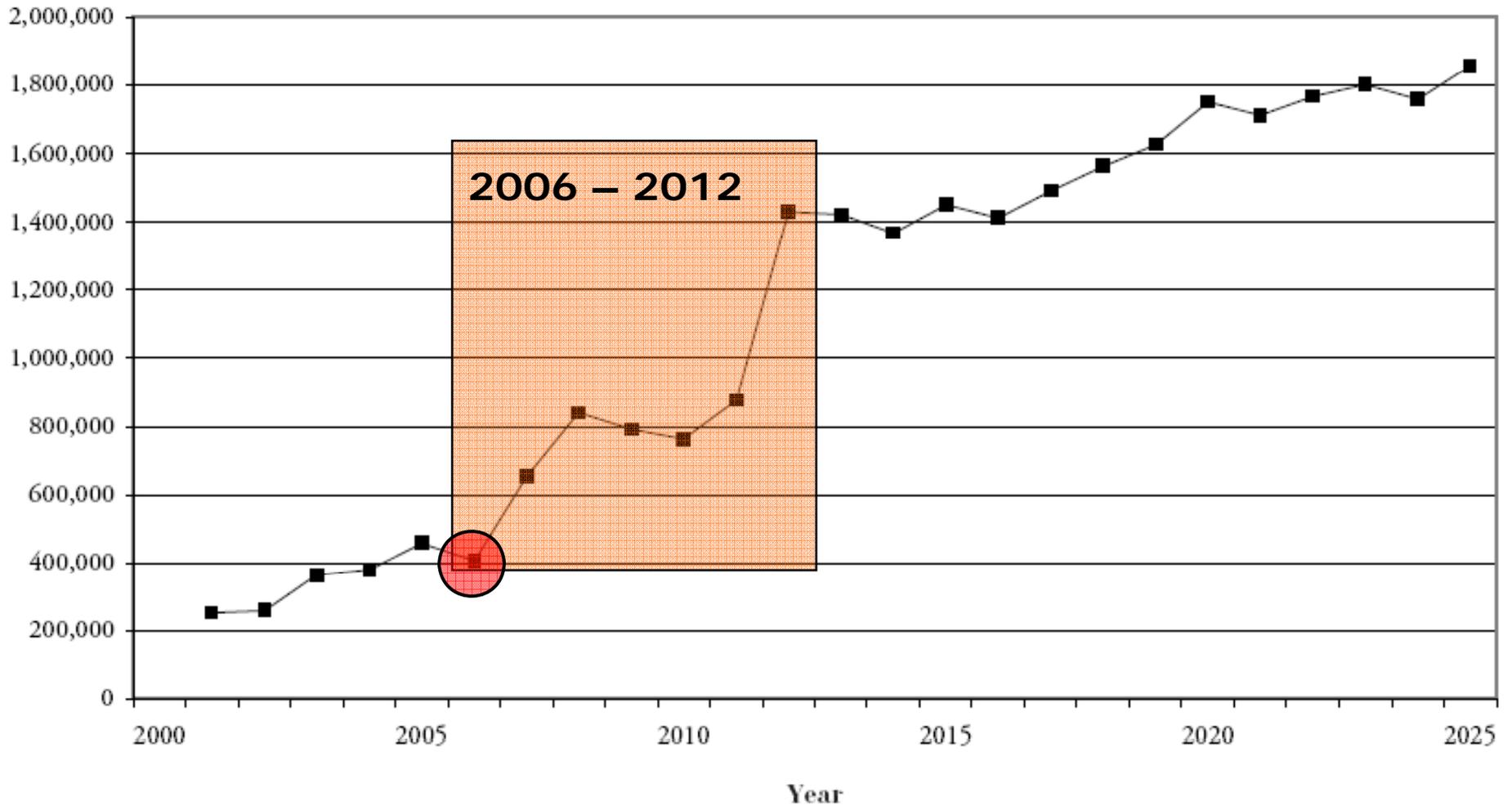
Benchmarking the Atlanta Region

Population density of urbanized area (people/acre)

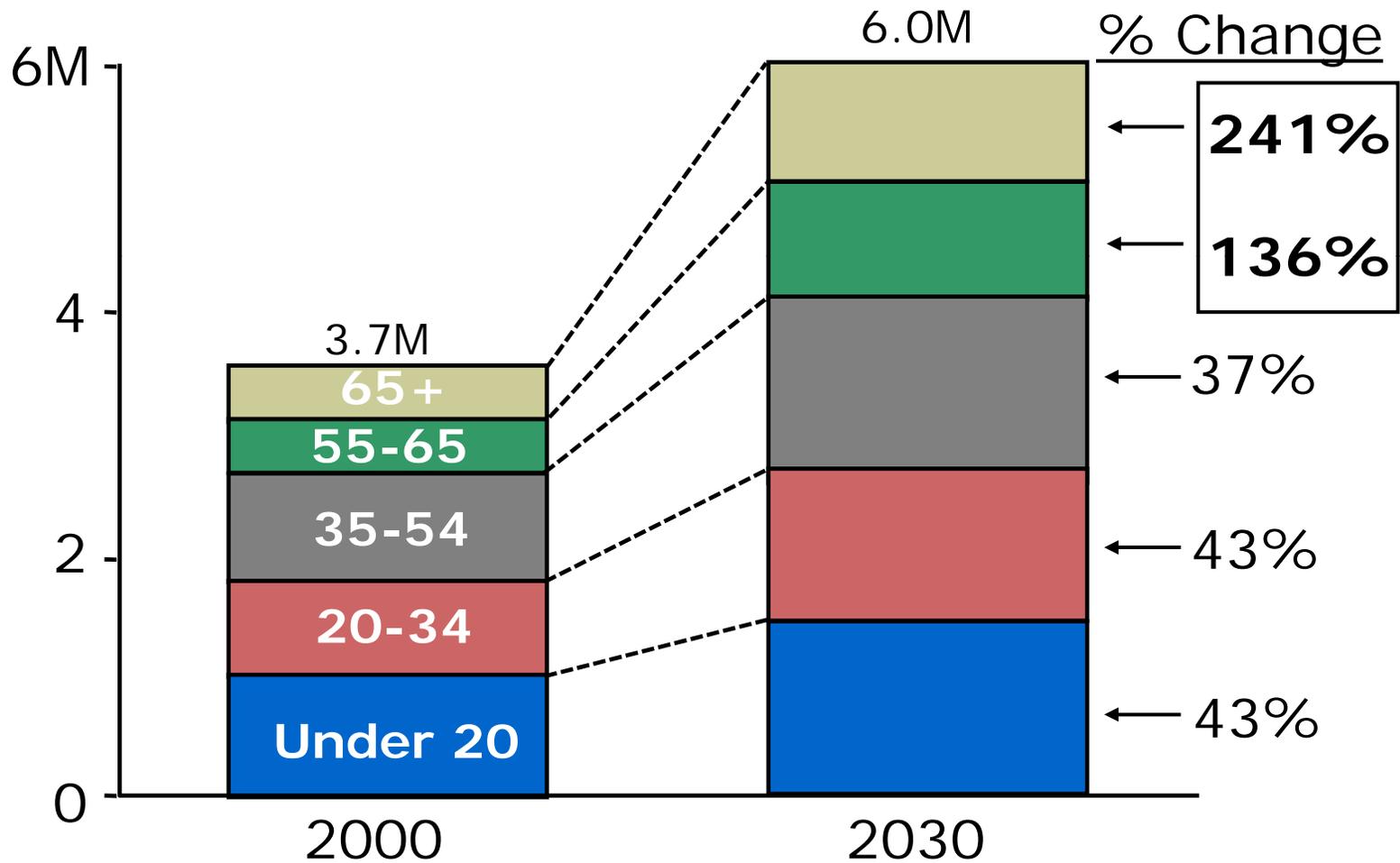


National Demographic Changes

Persons Turning 65



Region's Demographic Changes



Household Demographic Changes

Table 2. Projected household change, by type, 2000 and 2025.

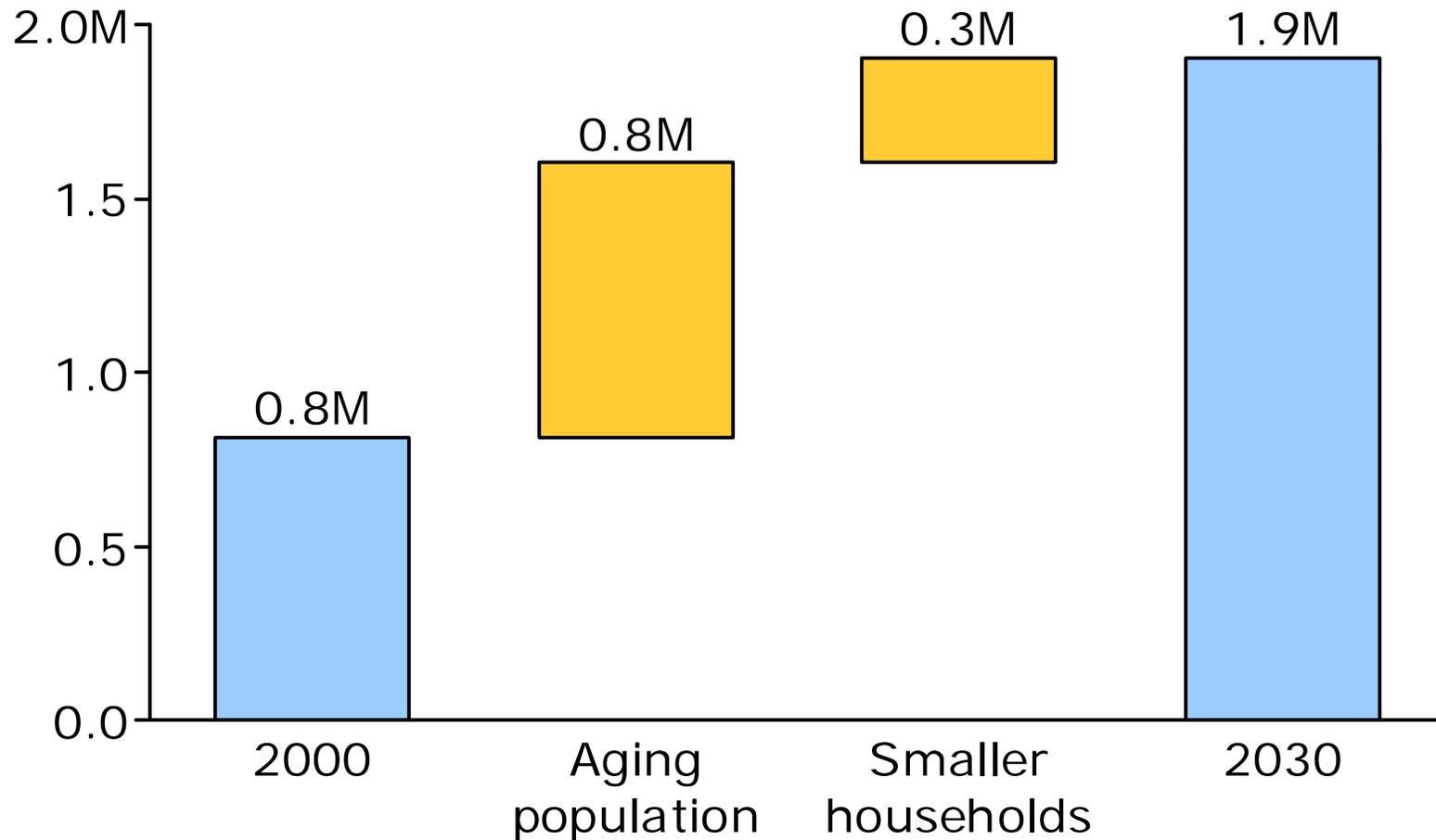
	2000^a	2025^a	Change^a 2000– 2025	Share of change
Total households	108,000	140,000	32,000	100%
Households with children	35,000	39,000	4,000	12%
Households without children	73,000	101,000	28,000	88%
Single-person households	28,000	39,000	11,000	34%

Note:

a. In thousands of households rounded to nearest million.

Regional Household Demand

Number of people preferring higher density, mixed use housing, some of which could be in centers/corridors



What difference could just land use make in improving transportation performance?

What was modeled:

Two different 2030 household and employment distributions (i.e. "land uses")

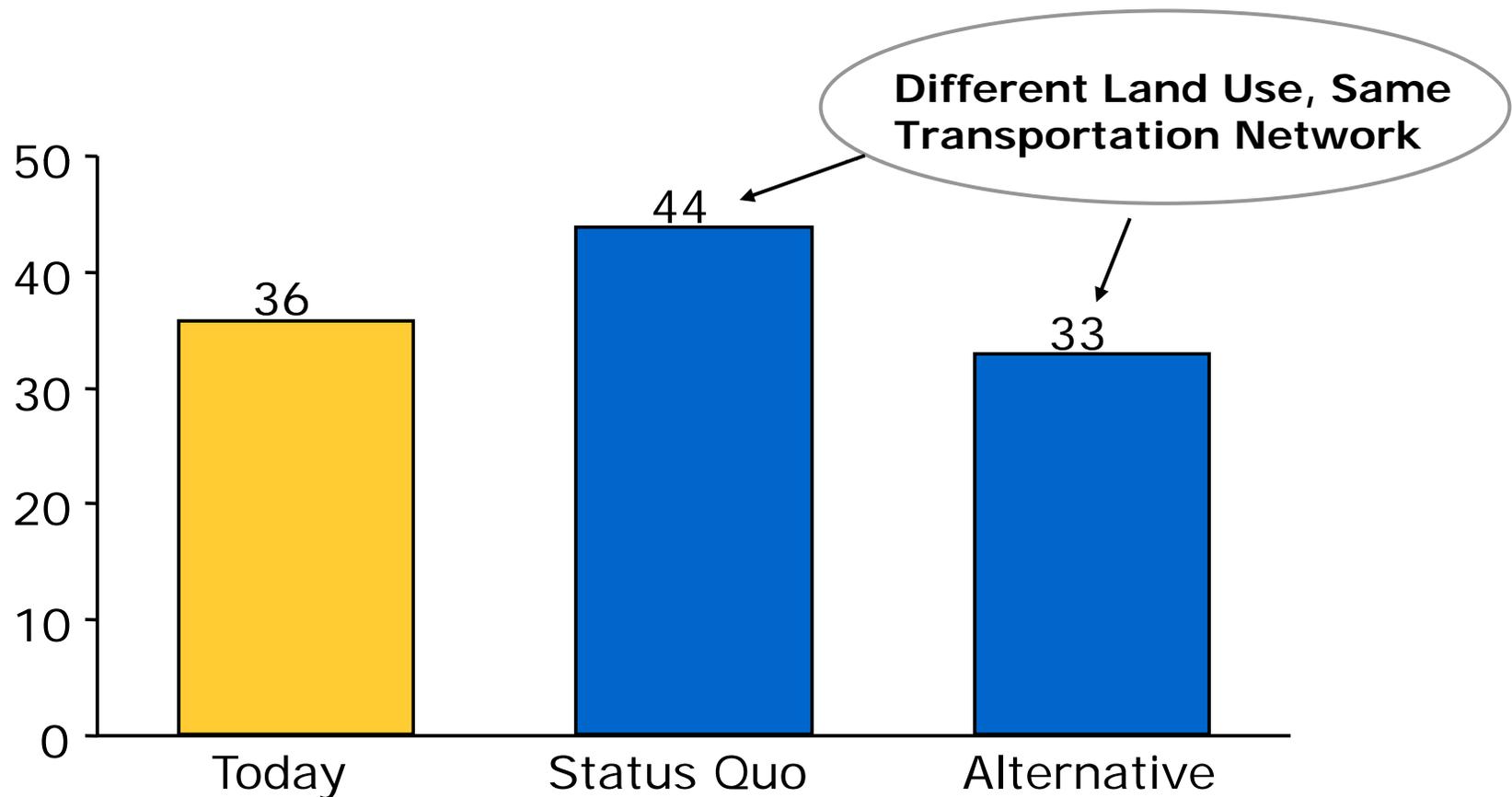
- Status Quo (more decentralized)
- Alternative (more housing near jobs)

With the same transportation network

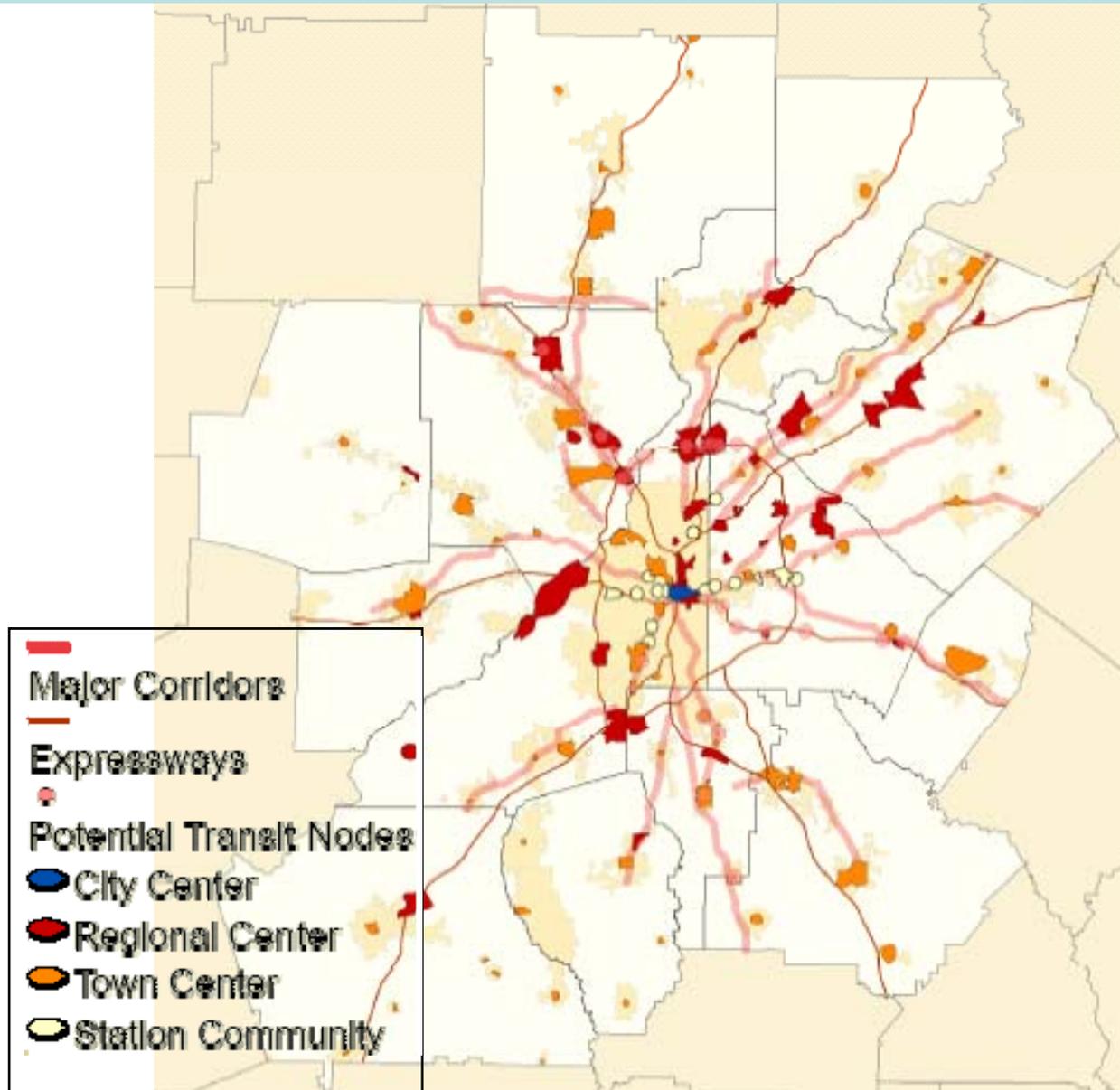
- 2025 Regional Transportation Plan

We can accommodate population growth and reduce the time spent in traffic delay

Duration of Delay (Minutes/Household)



We can accommodate population growth and reduce the time spent in traffic delay



- The region's centers and corridors make up less than 10% of the region's land area
- Portions are ripe for higher density, mixed-use development and redevelopment



Livable Communities Coalition

A Diverse Network of Leaders:

- A strong, diverse Board of Trustees
- 40 member organizations
- Advisory Committee
 - Project Implementation Subcommittee
 - Policy Subcommittee
 - Communication/Education Subcommittee



- AARP Georgia
- AIA Atlanta
- Alliance for Quality Growth
- American Council of Engineering Companies of Georgia
- ASLA Georgia
- Association County Commissioners of Georgia
- Atlanta Apartment Association
- Atlanta Board of Realtors
- Atlanta Commercial Board of Realtors
- Atlanta Neighborhood Development Partnership
- Atlanta Regional Council for Higher Education
- Atlanta Regional Health Forum
- Center for Quality Growth and Regional Development
- Chattahoochee Hill Country Alliance
- Citizens for Progressive Transit
- The Civic League
- Clean Air Campaign
- Congress for the New Urbanism
- Council for Quality Growth
- Cumberland CID
- Fanning Institute
- Georgia Affordable Housing Coalition
- Georgia Apartment Association
- Georgia Concrete & Products Association
- Georgia Conservancy
- Georgia Municipal Association
- Georgia Planning Association
- Georgia State Trade Association of Nonprofit Developers
- Greater Atlanta Home Builders Association
- MARTA
- Metro Atlanta Chamber of Commerce
- Park Pride
- PEDS
- Perimeter CIDs
- Regional Business Coalition
- Sierra Club
- Southface
- Trees Atlanta
- Trust for Public Land
- Urban Land Institute



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A Mission Based on Four Principles:

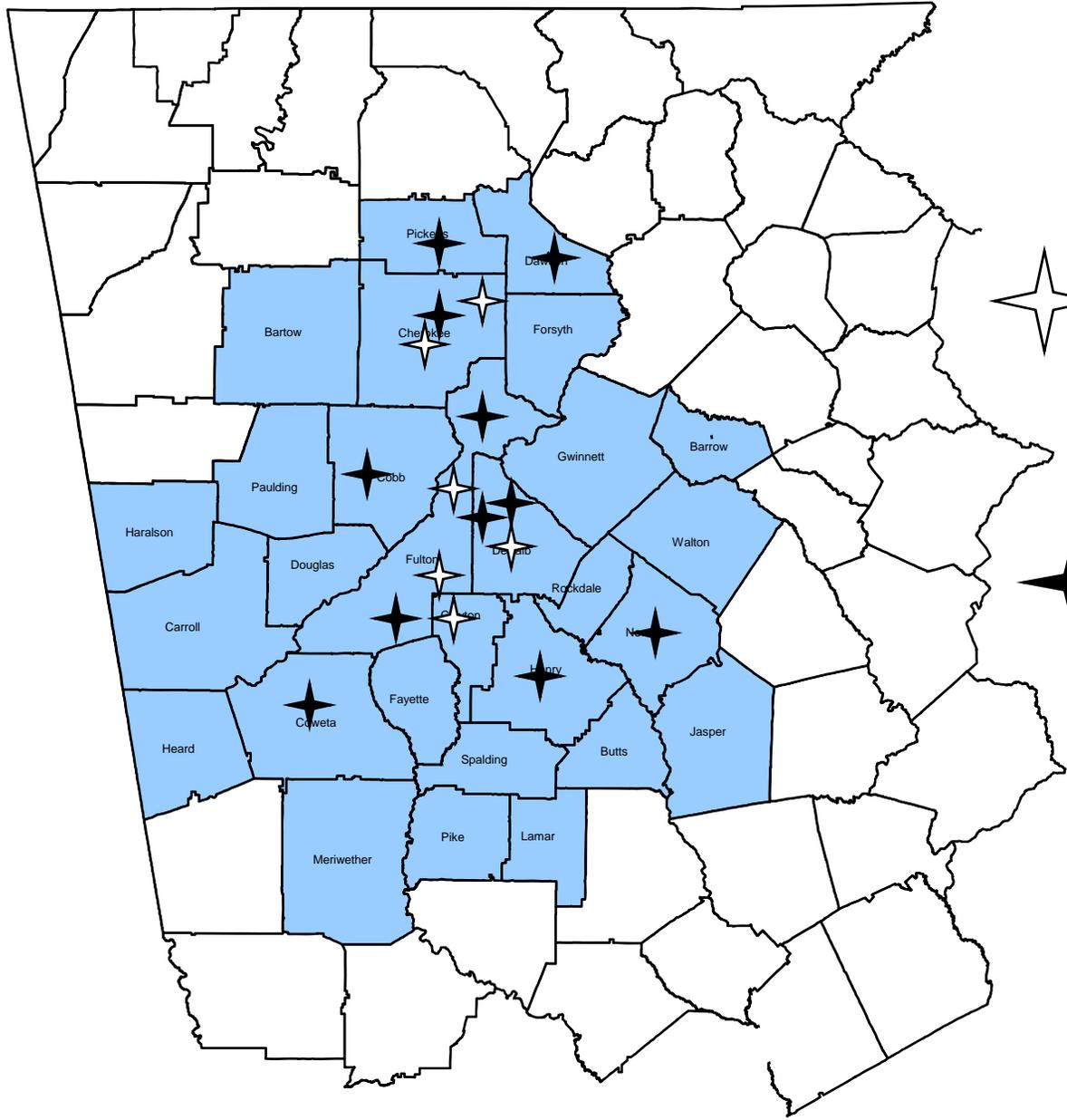
1. Support greater densities and mixed-use development in appropriate areas
2. Integrate transportation and land use
3. Increase housing choice
4. Guide "greenfield" development



Livable Communities Coalition

Working for quality growth in 3 Ways:

1. Engage communities to implement quality growth projects
2. Support public policy for quality growth
3. Educate the public on quality growth
(LivableCommunitiesCoalition.org)



**Project completed
or in final stages**



**Project underway
or in planning**



Livable Communities Coalition

Message for GA DOT:

1. Demographic and global changes require a different approach to transportation, other than what has worked for us in past decades
2. Land use changes, if done right, will benefit existing transportation facilities
3. Be supportive of local efforts to create transportation-efficient centers